



Forensic Building Defects Report

1 Sample St Suburb VIC 3000 (PS 123456X)

- ✓ 30+ Years' Experience In Reporting Services
- ✓ Our Quality Reports Make Roscon The Number 1 Choice
- ✓ We Conduct onsite audits including photos, not desktop audits
- ✓ ISO 9001 Accredited Systems & Procedures
- ✓ Domestic Unlimited Builders (DB-U 13329)
- ✓ Commercial Unlimited Builders (CB-U 4272)
- ✓ Asbestos Removalist License (H15/03193)
- ✓ Member - MBAV Platinum Master Builder (5630)
- ✓ Member - Strata Community Australia
- ✓ Member - Australian Institute of Project Management
- ✓ Member - The Real Estate Institute of Australia

Roscon Property Services

Roscon Property Services is the first property services provider to introduce central streamlined systems integrating property maintenance and quality controlled reporting services accredited by International Certifications, dedicated to support Owners Corporation managers.

Since 1987 we have evolved from our history of developing and constructing prestigious residential and high profile commercial/ industrial landmark projects. We have extended our service capabilities through our extensive construction, strata management and professional property services experience gained over 25 years, and filled the void between three property industries.

Built on solid foundations our clients rest assured in the comfort of knowing they're supported by Registered Building Practitioners, qualified professionals, fully insured and committed in protecting their responsibility to valued clients.

Mission Statement

"It is the policy of Roscon Property Services to deliver property Maintenance services to its clients in the most efficient and timely manner while respecting legal and statutory requirements. Roscon Property Services Pty Ltd operates under ISO 9001-2000 in the completion of its services. All staff & sub-contractors are expected to work according to our policies and procedures. The system employed by Roscon Property Services Pty Ltd is reviewed annually in order to ensure its consistency".

Instructed By

Name	
Company	
Address	

Inspected & Compiled by

Action	Name	Date
Inspected By		
Prepared By		
Reviewed By		
Approved By		
On Behalf Of	Roscon Property Services	

31 August 2018

Dear Manager,

Thank you for using Roscon Property Services Pty Ltd for your Forensic Building Defects Report. I have attached a copy of the report that has been compiled by an experienced auditor.

Should you require further assistance or need clarification of anything that is contained within the report then please do not hesitate to contact us.

The attached report includes the following:

Part 1	Inspection Notes
Part 2	Detailed Defects Report
Part 3	Videos
Part 4	Defect Map
Part 5	Thermal Imaging

The team at Roscon Property Services are available to assist you with any rectification concern that may eventuate and look forward to your call. Thank you for your continued business.

Yours Sincerely

Roscon Property Services Pty Ltd



Paul Cummaudo
Managing Director
AREI, RBP, CRE, Licensed Estate Agent
Registered Building Practitioner DB-U 13329, CB-U 4272
Member REIV, MBEAV, SCA, NCTI

Part 1: Inspection Notes

Roscon Property Services were engaged by OC manager to conduct a Forensic Building Defects Report for the property at 1 Sample St Suburb VIC 3000. The investigation was undertaken on Thursday 15 August 2018 at approximately 9:00am.

The following areas were inspected at the property:

- Rooftop plant areas
- Hallway common areas
- Service rises/cabinets
- External courtyards
- Basement carpark

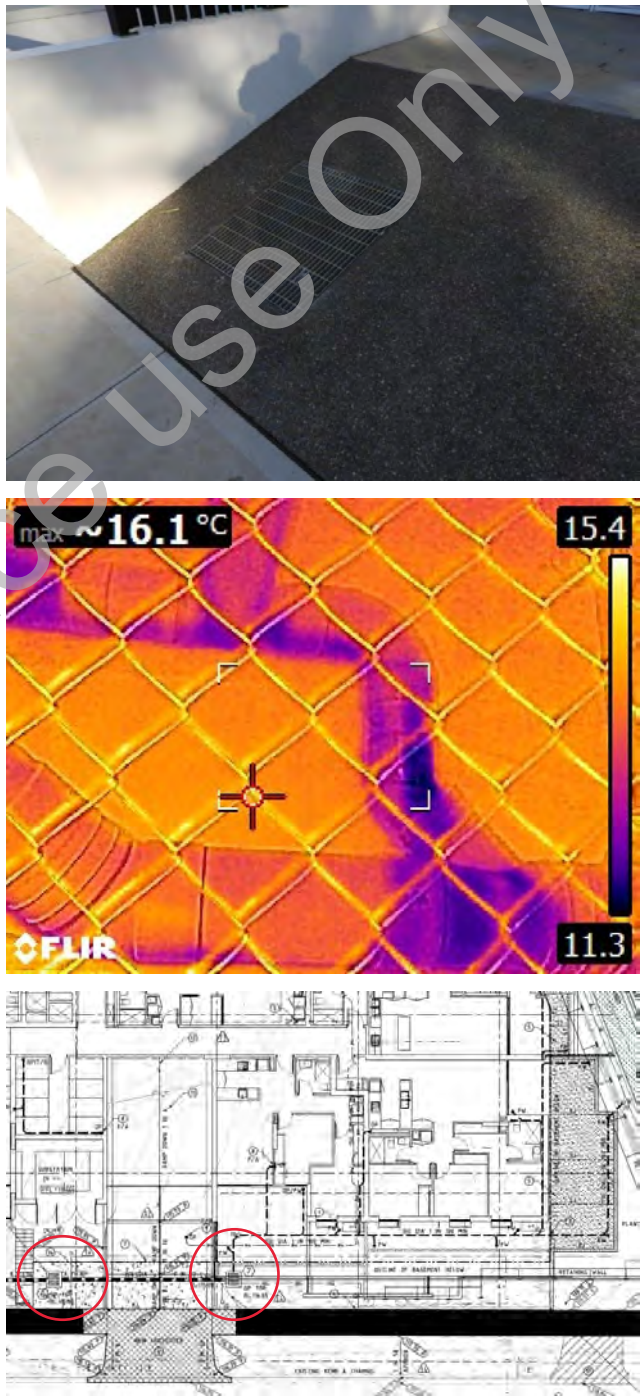
The following major defects were identified at the property:

- At the time of inspection, water was constantly leaking in the south-eastern stormwater pits adjacent to the carpark ramp. This is likely due to the waterproofing membrane in the planterboxes failing.
- The rooftop plant waterproofing membrane has failed as water was present at the time of inspection under the floor waste. The stored water is able to be shifted around underneath the sheet membrane. Multiple areas of the sheet membrane have been chalked, indicating that EFVM has pointed out failure points. This is consistent with areas of the sheet membrane being flashed with bitumen.
- The articulation joint at the edge of the car park entrance has started bleeding out.
- Level 14 hot water plant area has water ponding due to the lack of falls towards the floor wastes on the plant area.
- Planter boxes on the level 12 common area courtyard do not contain a waterproofing membrane, nor protection boards.
- Glass doors throughout the building do not have decals placed along the width of the glass panes.

The following Forensic Building Defects Report provides a detailed summary of all findings identified during the inspection of the property. All recommended rectification works are brief in nature and should be planned in much greater detail prior to being carried out. Additionally, any works to be completed should be done in accordance with the current NCC, Australian Standards, the Guide to Standards and Tolerances and all other relevant building codes and regulations.


Part 2: Detailed Defects Report


Major Defects

Item	Details	Photographic Details
1.	<p>Location:</p> <p>South-east of the property boundary</p> <p>Finding:</p> <p>At the time of inspection, the two south-east drainage pits were observed to have a continuous flow of water. The two drainage pits are connected to the planterboxes on the first floor and second floor areas. It is suspected that there is a water leak in the irrigation system of the building causing water to leak in the planterboxes which then get discharged into the stormwater system of the building.</p> <p>From the civil drawing C07 as shown in image 3, the drainage pits are also connected to several floor wastes and down pipes of apartments. It is possible that a water main has been compromised and is contributing to the constant flow of water into the drainage system.</p> <p>Video 1 in the video box shows the flow of water in both pits from the street level.</p> <p>Video 2 in the video box shows blue areas using a thermal imaging camera on the stormwater pipes. These blue areas indicate that there is water being discharged through them.</p> <p>Recommendations:</p> <p>It is recommended to firstly rectify the planterboxes and ensure that the waterproofing membrane is intact and functional.</p> <p>If the leak in the drainage pits persist, engage a forensic plumber to undertake a water investigation of the drainage system to determine the source of the leak and undertake the appropriate rectification actions to resolve the leak.</p>	

Item	Details	Photographic Details
2.	<p>Location:</p> <p>Rooftop Plant Area - Floor Wastes.</p> <p>Finding:</p> <p>Water was noted underneath the waterproofing sheet membrane that surrounded the floor waste that was opposite the fire stairwell door and to the floor waste that was adjacent to the vertigo pipe and exhaust fan, as shown in Images 1 and 2.</p> <p>The sheet membrane was flexing as the concrete slab was retaining water causing the membrane to delaminate. Minimal force on the membrane would shift the trapped water around. Roscon staff have taken video documentation of liquid movement around the floor waste. This can be seen in video 3, 4, 5 and 6 in the video box.</p> <p>The prescence of water below the sheet membrane indicates that it has failed and requires immediate replacement. Given the building's occupancy permit was issued in 04/11/2016 the premature failure is a building defect.</p> <p>The NCC 2015 Volume One Performance Requirement F1.4 states:</p> <p><i>"A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>Refer to the next Item for recommendations.</p>	  



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3.	<p>Location:</p> <p>Rooftop Plant Area - Waterproofing Membrane.</p> <p>Finding:</p> <p>The rooftop sheet membrane within the plant area was in a poor condition.</p> <p>Numerous patch works of waterproofing membrane has been performed throughout the plant areas using a bituminous applied flashing. Signs of Electric Field Vector Mapping (EFVM) testing has been performed, due to the chalk marks on the sheet membrane.</p> <p>EFVM is used to detect failure points in a waterproof membrane.</p> <p>There were multiple ingress points marked by the chalk on the rooftop membrane many of these failure points were previous patches made by the builder and laps in the sheet membrane.</p> <p>The builder patchwork attempts to reseal the waterproofing membrane are a cheaper short term solution that has failed given the water noted underneath the membrane surrounding the floor wastes and the failure points noted by the EFVM testing.</p> <p>Recommendations:</p> <p>The failed waterproofing membrane is to be stripped off to expose its bare concrete slab substrate.</p> <p>Any cracks and gaps are to be filled in and smoothed over with the appropriate epoxy resin.</p> <p>A new waterproofing membrane is to be applied to the balcony in accordance with AS4654.2-2012.</p> <p>The waterproofer is to give a certificate of compliance with a warranty of 25 years.</p> <p>The replacement of the waterproofing membrane will require removing the plant area equipment to give access to the rooftop.</p>	

Item	Details	Photographic Details
4.	<p>Location:</p> <p>Carpark Driveway - Articulation Joint.</p> <p>Finding:</p> <p>The articulation joint at the edge of the driveway ramp and the carpark slab has water bleeding out of the joint.</p> <p>The building manager stated that the builder has agreed to replace the articulation joint during summer when the weather is dry.</p> <p>Recommendations:</p> <p>It is recommended that the articulation joint is raked out and left to vent for a couple of days to remove of all retaining water within the joint and concrete slab.</p> <p>Once the joint is dry then new expansion foam and approved sealant can be applied to the joint.</p>	

Item	Details	Photographic Details
5.	<p>Location:</p> <p>Level 14 - External hot water plant area</p> <p>Finding:</p> <p>It has been noted that at the time of inspection that water was ponding on the floor due to the lack of appropriate fall towards the floor waste causing water to chronically pond on the rooftop.</p> <p>AS 4654.2-2012 Clause 2.5.2 states:</p> <p><i>Falls in finishes shall ensure water drains to the drainage outlet. Water shall not be retained on the finished surface with the exception of residual water remaining due to surface tension. The fall shall be in the structural substrate, or formed by a screed over the structural substrate.</i></p> <p>NOTE: Falls for surface drainage should be no flatter than 1 in 100.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The existing waterproofing membrane is to be stripped off the plant area with the concrete substrate being completely exposed.</p> <p>A layer of screed is to be applied to the substrate and is to be graded so that falls at a minimum grade of at least 1 in 100 towards the floor waste can be achieved.</p> <p>A new layer of waterproofing is to be applied to the plant area in accordance with AS4654.2-2012.</p>	


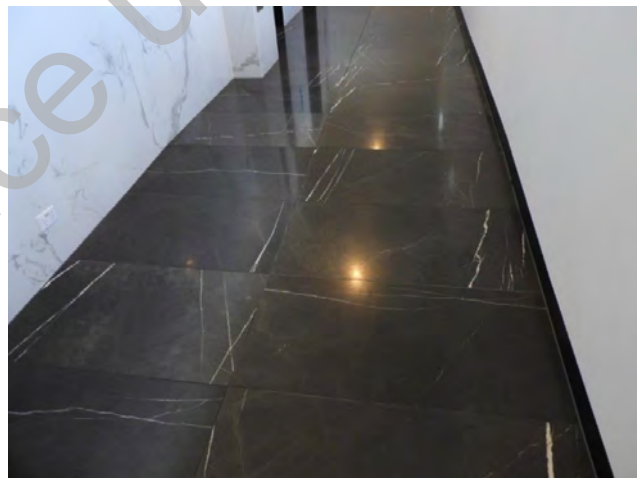
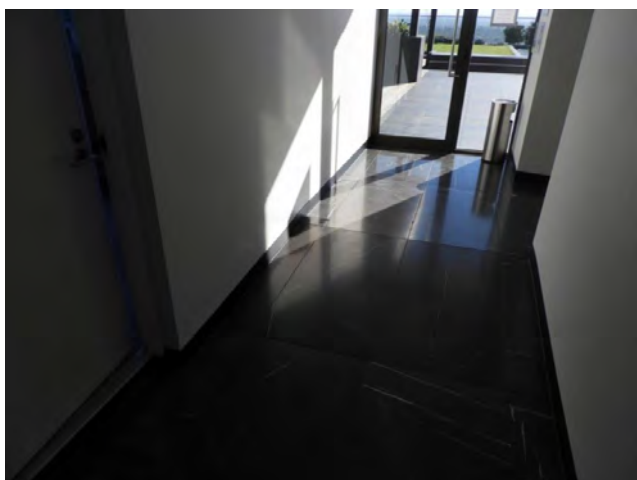
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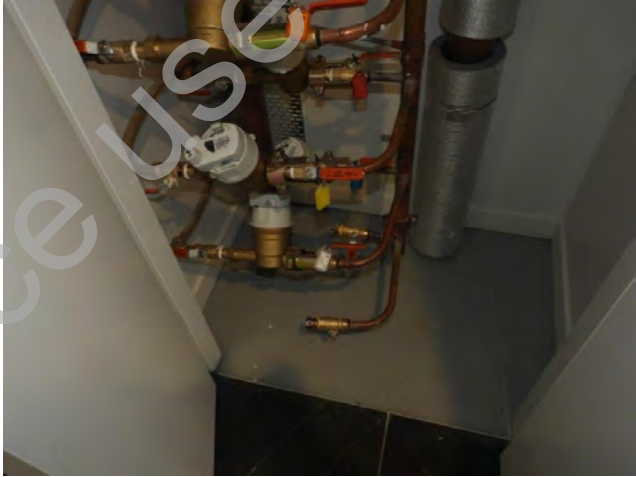
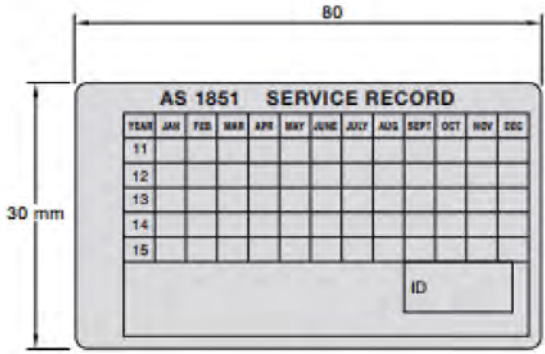
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6.	<p>Location:</p> <p>Planter boxes on level 12 Common area Courtyard</p> <p>Finding:</p> <p>Upon inspection, Roscon staff was only able to dig approximately 50mm into the planter boxes as the rocks made it difficult to go any further. It was noted that the planter boxes along the eastern edge do not contain a water proofing membrane and protection boards. Water will be able to seep out of the planterbox causing damage to the building over an extended period of time.</p> <p>Clause 2.13 of AS4654.2-2012 requires planterboxes to be tanked with a waterproofing membrane that extends 100 mm above the soil level. Protection boards are to be installed in front of the membrane to protect the membrane from plant roots.</p> <p>AS 4654.2-2012 clause 2.13 states:</p> <p><i>"The membrane shall be sealed to the drainage outlet. It shall extend vertically to a height of 100 mm above the soil or fill level. Falls in the base of the planter shall be in accordance with Clause 2.5.2."</i></p> <p>NOTES:</p> <ol style="list-style-type: none"> 1 The planter box should be provided with a suitable overflow. 2 Protection boards should be provided to minimise root damage to the waterproofing membrane. The suitability of the plants to be installed should be considered, as certain rooting systems are aggressive and may penetrate the membrane. 3 Mulch should be considered when determining the soil fill level. 4 Externally exposed walls of planter boxes should be waterproofed to prevent failure of the internal planter box membrane. 5 A typical example of waterproofing inside a planter box is shown in Figure 2.17." <p>Image 3 shows the typical construction of a planter box with a water proofing membrane in accordance to Figure 2.17 from AS 4654.2-2009.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>Ensure that tiled planterboxes contain a waterproofing membrane underneath that is intact.</p> <p>Remove all soil from the planter boxes and store onsite.</p> <p>Clean the substrate of the planter box so that it is ready for a membrane application.</p> <p>Supply and Install a membrane in accordance with AS4654.2-2012 ensure that the membrane extends 100 mm above the soil level, is flashed, has a drainage overflow with protection boards.</p> <p>It is also suggested, that protection boards be put in place to protect the membrane from plant roots.</p>	   <p>FIGURE 2.17 TYPICAL PLANTER BOX CONSTRUCTION</p>

Item	Details	Photographic Details
7.	<p>Location:</p> <p>Glass Doors in Common Area Hallways.</p> <p>Finding:</p> <p>The glass doors throughout the building do not have any decals. These are prominent in areas found throughout car parks to lift access, the lobby, and entrances to courtyards. This is a safety hazard as the glass panes are transparent and pedestrians may collide into the glass, which can lead to serious injury.</p> <p>AS 1428.1-2009, clause 6.6 states:</p> <p><i>"Where there is no chair rail, handrail or transom, all frameless or fully glazed doors, sidelights, including any glazing capable of being mistaken for a doorway or opening, shall be clearly marked for their full width with a solid and non-transparent contrasting line. The contrasting line shall be not less than 75 mm wide and shall extend across the full width of the glazing panel. The lower edge of the contrasting line shall be located between 900 mm and 1000 mm above the plane of the finished floor level. Any contrasting line on the glazing shall provide a minimum of 30% luminance contrast when viewed against the floor surface or surfaces within 2 m of the glazing on the opposite side."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>Engage the builder to apply required marking in accordance with Clause 5.19.3 Marking of AS 1288-2006, which states:</p> <p><i>"Marking, where required, shall be in the form of an opaque band not less than 20 mm in height and located so that the vertical distance from the floor level is-</i></p> <p><i>(a) not less than 700 mm from the upper edge of the band; and</i></p> <p><i>(b) not more than 1200 mm to the lower edge of the band.</i></p> <p><i>The band shall be readily apparent. This may be achieved either by ensuring that the band contrasts with the background or by increasing the height of the band."</i></p>	 


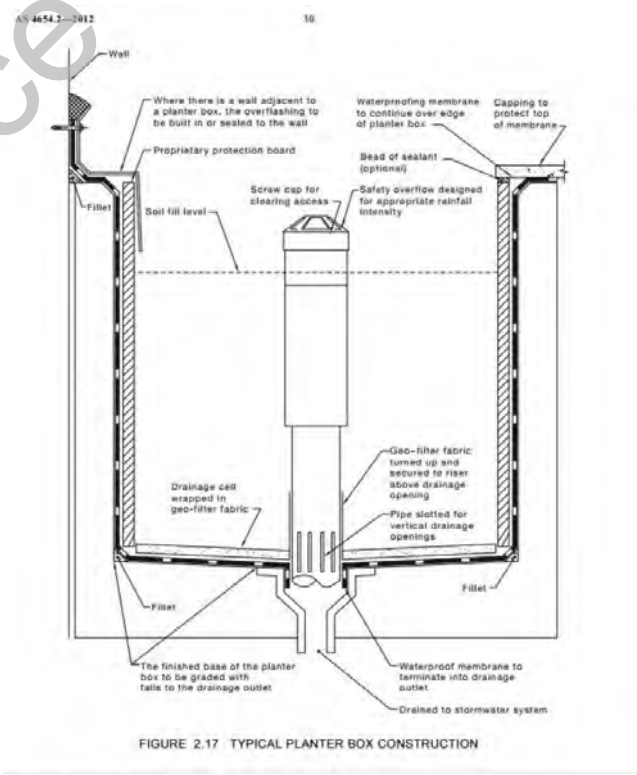
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Common defects


Item	Details	Photographic Details
8.	<p>Location:</p> <p>Throughout levels 1-14</p> <p>Finding:</p> <p>The internal floor tiles throughout the building have do not have intermediate joints installed at 4.5 m intervals or at locations where stress is likely to occur. The length of the internal tiled sections are greater than 9 m in length.</p> <p>For example on Level 14 there are multiple sections where the tiles change plan, these do not have an intermediate joints throughout the full thickness of the grout joint where the tile changes alignment.</p> <p>The majority of lift lobbies lack intermediate joints throughout the entire tiled surface.</p> <p>AS 3958.1-2007 clause 5.4.5.2 floors states:</p> <p><i>"(b) Intermediate movement joints Intermediate joints type (c), (d) or (e), as shown in Figure 5.1, should be inserted at intermediate positions to accommodate deflections of the base and movements in the flooring.</i></p> <p><i>They should be provided in evenly spaced positions at approximately 4.5 m centres, or at locations where stress might reasonably be expected in—</i></p> <p><i>(i) internal floors, where any dimension exceeds 9 m or 6 m if subjected to sunlight; and</i></p> <p><i>(ii) external floors where any dimension exceeds 4.5 m."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to install intermediate joints at even 4.5 m spacings or at locations where stress is likely to occur.</p>	  

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9.	<p>Location:</p> <p>Fire Penetrations throughout Service risers within the building.</p> <p>Finding:</p> <p>Fire penetrations building do not have labels showing when they were last serviced.</p> <p>The Occupancy Permit Essential Safety Measures, as shown in image 1, requires an annual inspection for the elements required to be non-combustible, provide fire protection compartmentalisation or separation.</p> <p>The AS1851 Service records are to be installed to each fire penetration to show when they were last checked as a part of the annual inspection.</p> <p>AS 1851-2012 clause 12.2.6 states:</p> <p><i>"Passive fire and smoke system components, including penetrations, shall be labelled.</i></p> <p><i>NOTE: If the responsible entity and service provider agree, multiple services may be identified on a single label.</i></p> <p><i>Labels shall include—</i></p> <p><i>(a) a title 'AS 1851 Service Record';</i></p> <p><i>(b) the service performed* (e.g. three-monthly, six-monthly or yearly);</i></p> <p><i>(c) date (month/year); and</i></p> <p><i>(d) equipment ID (link to summary record);</i></p> <p><i>Labels shall include—</i></p> <p><i>(a) a title 'AS 1851 Service Record';</i></p> <p><i>(b) the service performed* (e.g. three-monthly, six-monthly or yearly);</i></p> <p><i>(c) date (month/year); and</i></p> <p><i>(d) equipment ID (link to summary record);"</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>Builder is to install appropriate service tags to the fire penetrations throughout the building.</p> <p>Image 3 shows a sample of the service label that is to be installed.</p>	<table border="1"> <thead> <tr> <th colspan="3">Essential Services Measures</th> </tr> </thead> <tbody> <tr> <td colspan="3">Building fire integrity</td> </tr> <tr> <td>Safety Measure</td><td>BCA - Vol One or other provision to which essential safety measure has been installed and is to operate</td><td>Frequency and type of maintenance required</td> </tr> <tr> <td>Building elements required to satisfy prescribed fire-resistance levels</td><td>Section C Clause D1.12.</td><td>Annual inspection for damage, deterioration, or unauthorised alteration</td> </tr> <tr> <td>Materials and assemblies required to have fire hazard properties</td><td>Clause C1.10</td><td>Annual inspection for damage, deterioration, or unauthorised alteration to confirm no materials with potentially non-conforming fire indices have been added</td> </tr> <tr> <td>Elements required to be non-combustible, provide fire protection compartmentation or separation</td><td>Clauses C2.5 to C2.14, C3.3, C3.11 Clauses D1.7, D1.8 Clause E1.3 Clause G3.4</td><td>Annual inspection for damage, deterioration, or unauthorised alteration</td> </tr> </tbody> </table>   <p style="text-align: center;">DIMENSIONS IN MILLIMETRES</p> <p style="text-align: center;">FIGURE 12.2.6 SERVICE RECORD LABEL (TYPICAL)</p>	Essential Services Measures			Building fire integrity			Safety Measure	BCA - Vol One or other provision to which essential safety measure has been installed and is to operate	Frequency and type of maintenance required	Building elements required to satisfy prescribed fire-resistance levels	Section C Clause D1.12.	Annual inspection for damage, deterioration, or unauthorised alteration	Materials and assemblies required to have fire hazard properties	Clause C1.10	Annual inspection for damage, deterioration, or unauthorised alteration to confirm no materials with potentially non-conforming fire indices have been added	Elements required to be non-combustible, provide fire protection compartmentation or separation	Clauses C2.5 to C2.14, C3.3, C3.11 Clauses D1.7, D1.8 Clause E1.3 Clause G3.4	Annual inspection for damage, deterioration, or unauthorised alteration
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External Facade and Property Boundary

Item	Details	Photographic Details
10.	<p>Location:</p> <p>Northern wall - Adjacent to car park entrance</p> <p>Finding:</p> <p>The articulation joint has started to bleed. There is a planter box built behind this wall. Roscon staff did not have access to the planter box at the time of inspection, therefore confirmation of a water proofing membrane in the planter box could not be determined. Although, water leakage through the articulation joint suggests that the water proofing membrane in the planter box has failed, and water is seeping through the concrete and through the gaps in the articulation joint. This can lead to cracking or failure of structure in the future.</p> <p>Image 2 depicts the correct way to lay a membrane in a planterbox in accordance to AS 4654.2-2012.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to rectify this issue in the summer when there are dry conditions.</p> <p>Remove all soil from the planter boxes and store onsite.</p> <p>Strip off the existing membrane, if any, and clean the substrate of the planter box so that it is ready for a new membrane application.</p> <p>Supply and install a membrane in accordance with AS4654.2-2012 ensure that the membrane extends 100 mm above the soil level, is flashed, and has a drainage overflow with protection boards.</p>	  <p>FIGURE 2.17 TYPICAL PLANTER BOX CONSTRUCTION</p>

Item	Details	Photographic Details
11.	<p>Location:</p> <p>The Water Meters Cabinet along South-East of property boundary</p> <p>Finding:</p> <p>The water meters cabinet at the south-eastern corner of the property has water stains along the bottom face of the cabinet under the door leafs.</p> <p>Water is tracking down the face of the cabinet door leafs and onto the floor of the cabinet, this will deteriorate and damage the paint over time. A drip edge will be able to prevent water from tracking down the bottom face of the wall, as water will discharge away from the cabinet.</p> <p>Performance Requirement FP1.4 of the NCC Volume One 2015 states:</p> <p><i>A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</i></p> <ul style="list-style-type: none"> <i>(a) unhealthy or dangerous conditions, or loss of amenity for occupants; and</i> <i>(b) undue dampness or deterioration of building elements.</i> <p>A building defect has been noted.</p> <p>Recommendations:</p> <p>It is recommended to install a drip edge flashing to the edge of the concrete floor of the water meters service cabinets, as shown in Image 3.</p>	  



Item	Details	Photographic Details
12.	<p>Location:</p> <p>External facade</p> <p>Finding:</p> <p>Overflows are flush with the external facade.</p> <p>Over time, the flow of water along the wall can cause visible staining to appear on the facade from rainfall. If left alone, the staining can become more prominent and damage the paint of the building.</p> <p>A building defect has been noted.</p> <p>Recommendations:</p> <p>Supply and Install overflow pops</p> <p>It is recommended to extend the overflow provisions so that water is discharged away from the wall to prevent the flow of water on the facade of the building.</p>	

Sample - Office Use Only


Item	Details	Photographic Details
13.	<p>Location:</p> <p>Front walkway to entrance</p> <p>Finding:</p> <p>Large amounts of calcification has formed along the eastern garden fountain along the entrance walkway. As the fountain is constantly used, this is an indication that waterproofing membrane within the water feature has failed.</p> <p>Given the building is just over 2 years old the waterproofing membrane of the fountain is still within the installers warranty period making the failure a building defect.</p> <p>A building defect has been noted.</p> <p>Recommendations:</p> <p>The waterproofing membrane of the tiled fountain is to be replaced by the builder.</p>	 

Sample - Office Use Only


Basement Carpark B3


Item	Details	Photographic Details
14.	<p>Location:</p> <p>B3 car park - Western stairwell</p> <p>Finding:</p> <p>The western fire door is missing the letter 'O' on the door leaf facing the carpark and the letter 'N' on the door leaf facing the stairwell.</p> <p>The correct signage that needs to be placed on a fire door is stated on the NCC 2015 volume one clause D2.23 signs on doors:</p> <p><i>"(b)(ii) for a self-closing door— "FIRE SAFETY DOOR DO NOT OBSTRUCT DO NOT KEEP OPEN";"</i></p> <p>Given that the majority of proper signage is in place, the letters are assumed to have fallen off.</p> <p>This is a maintenance issue.</p> <p>Recommendations:</p> <p>The OC is to place appropriate letters to complete the sign.</p>	
15.	<p>Location:</p> <p>B3 car park - Western stairwell</p> <p>Finding:</p> <p>The light's motion detector in the stairwell failed to activate upon entering within 1 m of the entrance to the fire stairwell.</p> <p>This is a safety hazard as insufficient lighting is a tripping hazard as vision is impaired, potentially leading to serious injury. The motion detector was only able to be activated by movement on the upper level.</p> <p>The NCC 2015 volume one, specification J6 section, 4. motion detectors states:</p> <p><i>"(a) In a Class 2, 3 or 9c aged care building other than within a sole-occupancy unit, a motion detector must— (i) be capable of sensing movement such as by infra-red, ultrasonic or microwave detection or by a combination of these means; and (ii) be capable of detecting a person before they are 1 m into the space; "</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to repair or replace the motion sensor to ensure that the lights illuminate after entering a maximum of 1 m into the stairwell.</p>	

Item	Details	Photographic Details																								
16.	<p>Location:</p> <p>B3 car park - Adjacent to sump pump controls</p> <p>Finding:</p> <p>A notable crack has been found on the concrete slab floor adjacent to the sump pump controls. The crack was measured to be 2 mm wide.</p> <p>Image 3 is taken from the Guide to Standards and Tolerances 2015. It outlines the classification of cracks. From the table, the crack is in damage category 2. It is distinct with no curve or change in level.</p> <p>Clause 2.10 states:</p> <p><i>"Category 1 and 2 cracks to slabs are to be monitored for a period of 12 months. At the end of the monitoring period, cracks are defective if they are greater than category 2 and attributed to the actions of the builder."</i></p> <p>This needs to be monitored.</p> <p>Recommendations:</p> <p>The crack needs to be monitored for a 12 month period. If the crack grows larger and increases a damage category, it will be defective and the builder will need to rectify this issue.</p>	<div></div> <div></div> <div><p>TABLE 2.10 CLASSIFICATION OF DAMAGE TO CONCRETE FLOORS</p><table><tr><th>Description of typical damage</th><th>Approximate crack width limit in floor</th><th>Change in offset from 3 m straight edge placed over defect</th><th>Damage category</th></tr><tr><td>Hairline cracks, insignificant movement of slab from level</td><td>< 0.3 mm</td><td>< 8 mm</td><td>0 Negligible</td></tr><tr><td>Fine but noticeable cracks. Slab reasonably level</td><td>< 1.0 mm</td><td>< 10 mm</td><td>1 Very slight</td></tr><tr><td>Distinct cracks. Slab noticeably curved or changed in level</td><td>< 2.0 mm</td><td>< 15 mm</td><td>2 Slight</td></tr><tr><td>Wide cracks. Obvious curvature or change in level</td><td>2 mm to 4 mm</td><td>15 mm to 25 mm</td><td>3 Moderate</td></tr><tr><td>Gaps in slab. Disturbing curvature or change in level</td><td>4 mm to 10 mm</td><td>> 25 mm</td><td>4 Severe</td></tr></table><p><small>Taken from AS 2670: Residential slabs and footings – Construction, Table C2: Classification of damage with reference to concrete floors. Reproduced with permission from SAI Global Ltd under Licence 1407-c122.</small></p></div>	Description of typical damage	Approximate crack width limit in floor	Change in offset from 3 m straight edge placed over defect	Damage category	Hairline cracks, insignificant movement of slab from level	< 0.3 mm	< 8 mm	0 Negligible	Fine but noticeable cracks. Slab reasonably level	< 1.0 mm	< 10 mm	1 Very slight	Distinct cracks. Slab noticeably curved or changed in level	< 2.0 mm	< 15 mm	2 Slight	Wide cracks. Obvious curvature or change in level	2 mm to 4 mm	15 mm to 25 mm	3 Moderate	Gaps in slab. Disturbing curvature or change in level	4 mm to 10 mm	> 25 mm	4 Severe
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Item	Details	Photographic Details
17.	<p>Location:</p> <p>B3 car park - Corridor</p> <p>Finding:</p> <p>A redundant service pipe has been left behind and protruding out of the floor. This is tripping hazard for pedestrians using this corridor. The builder should have removed this pipe prior to handover of the building.</p> <p>The Guide to Standards and Tolerances 2015, clause 18.08 cleaning states:</p> <p><i>"Building sites are defective if they are not clear of building debris."</i></p> <p>This has not been removed after construction of the building site. Therefore, a defect has been noted.</p> <p>Recommendations:</p> <p>The redundant pipe be cut down, sealed appropriately and flush with the concrete slab to ensure the safety of occupants using this area.</p>	

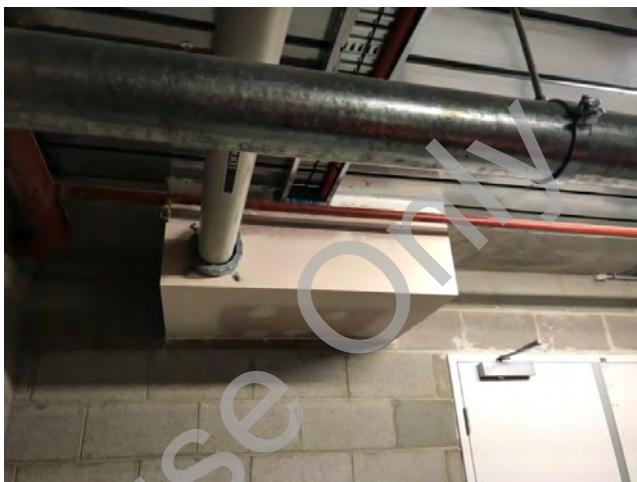

Ground Floor Car Park


Item	Details	Photographic Details
18.	<p>Location:</p> <p>Ground floor car park - Adjacent to car ramp</p> <p>Finding:</p> <p>Rusted joints were found embedded into the concrete floor. These are exposed to oxygen from the external air and is likely to rust over time if left as is. As rust forms, it creates a layer that pushes out into the concrete slab and can cause cracks and damage in the concrete slab.</p> <p>Recommendations:</p> <p>It is recommended that the builder appropriately treat the rusted joints first. Then they are to seal the exposed bars with a suitable concrete repair epoxy compound to ensure that the bars are not exposed.</p>	

Item	Details	Photographic Details
19.	<p>Location:</p> <p>Ground floor car park - Adjacent to storage cages</p> <p>Finding:</p> <p>The sealant along the joint adjoining the masonry wall and the ceiling has come off. It appears as though it has been manually pulled out and not re-sealed.</p> <p>The Guide to Standards and Tolerances 2015 clause 3.03 states:</p> <p><i>"Where required, control joints are defective if not installed as required by the Building Code of Australia or in accordance with the contract documents.</i></p> <p><i>Control joints are defective if they do not extend through the full thickness of masonry skin.</i></p> <p><i>Where required, control joints are defective if they are not sealed in accordance with AS 3700."</i></p> <p>And, AS 3700-2011 Clause 12.4.3 Movement Control Joints states:</p> <p><i>"Expansion joints (closing control joints) and articulation joints shall be clean and free from any hard or incompressible material for the full width and depth of the joint before joint-filling material (if any) is inserted.</i></p> <p>Expansion joints shall be completely filled with joint filler— <i>(a) where specified in the documents; or</i> <i>(b) where they are located below ground level or where they can be accidentally filled with debris."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>It is recommended that the builder strip the remaining sealant.</p> <p>Ensure that the joint is clean and free of mortar. Place expansion foam into the gap then supply and appropriately apply a new layer of mastic sealant that extends to the full length and width of the joint. The colour of the mastic sealant should match the colour of the surrounding structure. In this case, it should be white and have required FRL.</p>	



Ground Floor

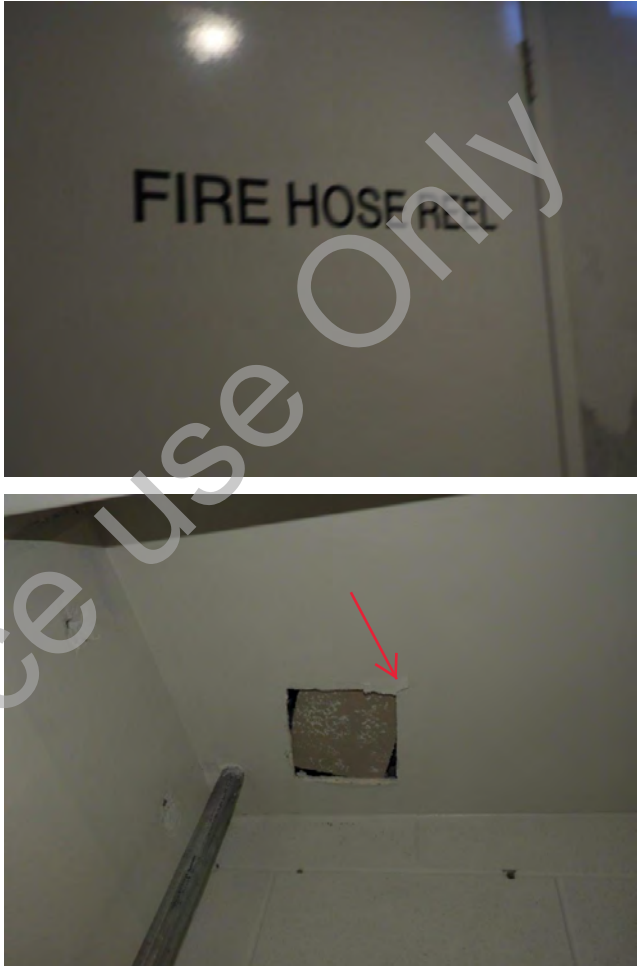
Item	Details	Photographic Details
20.	<p>Location:</p> <p>Ground floor - Sprinkler control valve assembly cabinet</p> <p>Finding:</p> <p>The sprinkler pipe has not been properly fire sealed. A PVC pipe was set into the concrete slab during construction and is now being used to allow for annular space of the fire sprinkler pipe. Duct tape has been used to seal the opening which has torn and left a hole. In the event of a fire emergency event, fire will be able to penetrate through this PVC pipe and cause damage to the immediate and surrounding floors.</p> <p>NCC 2015 volume one, performance requirement CP8 states:</p> <p><i>"Any building element provided to resist the spread of fire must be protected, to the degree necessary, so that an adequate level of performance is maintained—</i></p> <p><i>(a) where openings, construction joints and the like occur; and</i></p> <p><i>(b) where penetrations occur for building services."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The penetration needs to be properly sealed to ensure it upholds the fire integrity of the building.</p> <p>The fire services pipe has moved from the center of the PVC pipe. Because of this, a fire collar is no longer viable. The PVC pipe is to be completely removed out of the slab. The void is recommended to be packed with fire pillows and sealed with an appropriate fire rated sealant. This will reinstate the fire integrity of the building, as well as allow movement of the sprinkler pipe.</p>	

Item	Details	Photographic Details
21.	<p>Location:</p> <p>Ground floor - Inside the Fire Pump room</p> <p>Finding:</p> <p>The fire rated plasterboard containing services on the ceiling has not been adequately painted. There are clear signs of bare paint which have been left. This should have been painted prior to handover of the building.</p> <p>The Guide to Standards and Tolerances 2015 clause 12.02 states:</p> <p><i>"Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position.</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to supply and finish off the paintwork required. The builder is to ensure it is uniform with the existing paint works.</p>	
22.	<p>Location:</p> <p>Ground floor - adjacent to room G03</p> <p>Finding:</p> <p>The white cap is missing on the ceiling fire sprinkler. It is unclear whether this cap was ever installed or if it has been misplaced/ tampered with.</p> <p>The Occupancy Permit was signed on 04/11/2016. Given the amount of time that has passed since handover, it is likely that this not due the builder's workmanship and is now a maintenance issue.</p> <p>Recommendations:</p> <p>The OC is to replace the cap that is matching the other white caps that are placed throughout the ceiling fire sprinklers in the building.</p>	


Item	Details	Photographic Details
23.	<p>Location:</p> <p>Ground floor - Eastern and western fire safety doors of the Lobby</p> <p>Finding:</p> <p>Both of these fire safety doors do not have the relevant metal fire rating tags installed. Proper signage indicating that it is a fire door has been displayed.</p> <p>AS 1905.1-2005 clause 6.1.2 states:</p> <p><i>"(a) When the installation is complete, the manufacturer or the certifier shall inspect each installed fire-resistant doorset and shall affix the prescribed metal tag to the edge of the door leaf and to the doorframe, only if it can be confirmed that-</i></p> <ul style="list-style-type: none"> <i>(i) hardware has been installed in accordance with the specified instructions of the relevant manufacturer;</i> <i>(ii) hinges are correctly aligned;</i> <i>(iii) the doorset latches satisfactorily from the fully open position and from any intermediate position;</i> <i>(iv) the closer, if any, demonstrates satisfactory action as specified in Clause 2.2.5;</i> <i>(v) on the basis of evidence of test or the opinion of a registered testing authority, or both, and evidence of manufacture to the specifications of the tested specimen, the doorset complies with all other requirements of this Standard; and</i> <i>(vi) the clearances specified in Clause 5.5.2 have been met."</i> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to install the appropriate metal tags on door frames and leafs in accordance to the manufacturer's specifications.</p> 	

Level 1

Item	Details	Photographic Details
24.	<p>Location:</p> <p>Level 1 - Western door to car park</p> <p>Finding:</p> <p>The western door to the carpark is a fire safety door that does not contain the metal fire rating labels on the door frames and leafs. Proper signage indicating that the door is a fire safety door has been displayed.</p> <p>AS 1905.1-2005 clause 6.1.2 states:</p> <p>"(a) When the installation is complete, the manufacturer or the certifier shall inspect each installed fire-resistant doorset and shall affix the prescribed metal tag to the edge of the door leaf and to the doorframe, only if it can be confirmed that-</p> <ul style="list-style-type: none"> (i) hardware has been installed in accordance with the specified instructions of the relevant manufacturer; (ii) hinges are correctly aligned; (iii) the doorset latches satisfactorily from the fully open position and from any intermediate position; (iv) the closer, if any, demonstrates satisfactory action as specified in Clause 2.2.5; (v) on the basis of evidence of test or the opinion of a registered testing authority, or both, and evidence of manufacture to the specifications of the tested specimen, the doorset complies with all other requirements of this Standard; <p>and</p> <p>(vi) the clearances specified in Clause 5.5.2 have been met."</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to install appropriate metal tags on door frame and leaf in accordance to the manufacturer's specifications.</p>	 


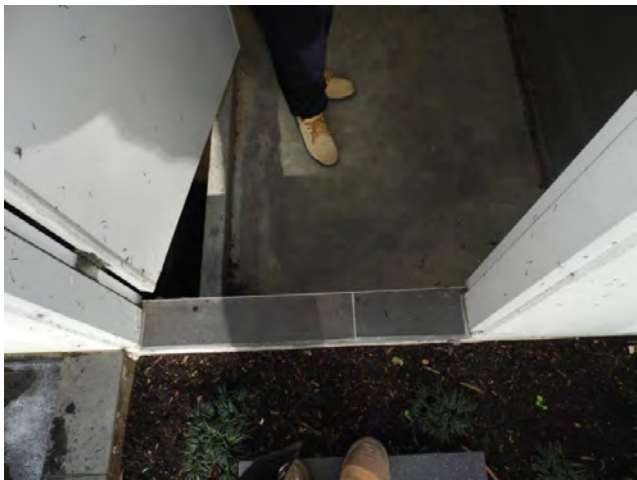
Item	Details	Photographic Details
25.	<p>Location:</p> <p>Level 1 - Inside the Fire Hose Reel cabinet</p> <p>Finding:</p> <p>A redundant hole has been cut out in the ceiling of the cabinet. A section of plasterboard adjacent to the hole has been ripped. It is assumed that this was used for access during construction. It has not been sealed or patched up after the builder has finished works.</p> <p>The Guide to Standards and Tolerances 2015, clause 18.08 cleaning states:</p> <p><i>"Building sites are defective if they are not clear of building debris."</i></p> <p>This has not been patched up after construction. Therefore, a defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to cut away the section that has been ripped. A piece of plasterboard is to be measured and fit snugly into the hole. An appropriate filler that is closely matching to the paintwork is to be used along the gaps and smoothed over once dried.</p>	

Sample - Office use Only


Item	Details	Photographic Details
26.	<p>Location:</p> <p>Level 1 car park - Inside the Main Switchboard room</p> <p>Finding:</p> <p>There are two steel bars protruding out of the concrete wall. These bars are susceptible to reacting with the oxygen in air and oxidising. This will cause the steel to rust over time, and cause potential damage to the building's integrity. When rust around steel forms, it creates a layer that expands out, which is detrimental to the concrete's structure.</p> <p>Recommendations:</p> <p>It is recommended that the builder appropriately seal the exposed bars with a suitable concrete repair epoxy compound to ensure that the bars are not exposed.</p>	

Sample - Office use only



Level 2


Item	Details	Photographic Details
27.	<p>Location:</p> <p>Level 2 - Western fire door to stairwell</p> <p>Finding:</p> <p>At the time of inspection, it was noted that the western self-closing fire door to the stairwell does not latch shut. Self-closing fire doors need to be able to fully close and latch on its own. This is a safety hazard during a fire emergency event as it can allow fire and smoke to slip through the gap.</p> <p>The NCC 2015 volume one, performance requirement C3.4 states:</p> <p><i>"(a) Where protection is required, doorways, windows and other openings must be protected as follows:</i></p> <p><i>(i) Doorways—</i></p> <p><i>(A) internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or</i></p> <p><i>(B) –/60/30 fire doors that are self-closing or automatic closing."</i></p> <p>Given the time since handover, this is a maintenance issue.</p> <p>Recommendations:</p> <p>The OC is to rectify this issue by adjusting the self-closing mechanism of the fire safety door to the appropriate closing speed. Ensure that the door is able to latch shut upon closing.</p>	
28.	<p>Location:</p> <p>Level 2 Courtyard - Utility room</p> <p>Finding:</p> <p>There is a notable step down from the courtyard to the floor of the utility room. No hand rail or additional step has been provided to allow smooth transition in and out of the space. This is a safety concern as trips and falls of this height can lead to serious injury, especially when vision is impaired.</p> <p>This is an OH&S issue.</p> <p>Recommendations:</p> <p>It is recommended that the OC engage a licensed contractor to install an additional step with a non-slip nosing and a high-vis strip to allow easy and safe access to and from the utility room.</p> <p>A 'MIND YOUR STEP' sign should be placed on the both sides of the wall at an appropriate height adjacent to the utility room door. This acts as a visual warning upon accessing and egressing the space.</p>	

Level 5



Item	Details	Photographic Details
29.	<p>Location:</p> <p>Level 5 - Eastern fire door to the stairwell</p> <p>Finding:</p> <p>At the time of inspection, it was noted that the eastern self-closing fire door to the stairwell does not latch shut. Self-closing fire doors need to be able to fully close and latch on its own. This is a safety hazard during a fire emergency event as it can allow fire and smoke to slip through the gap.</p> <p>The NCC 2015 Volume One Performance Requirement C3.4 states:</p> <p><i>"(a) Where protection is required, doorways, windows and other openings must be protected as follows:</i></p> <p><i>(i) Doorways—</i></p> <p><i>(A) internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or</i></p> <p><i>(B) –/60/30 fire doors that are self-closing or automatic closing."</i></p> <p>Given the time since handover, this is a maintenance issue.</p> <p>Recommendations:</p> <p>The OC is to fix the fire safety door by adjusting the self-closing mechanism to the appropriate closing speed. Ensure that the door is able to latch shut by itself.</p>	

Level 6



Item	Details	Photographic Details
30.	<p>Location:</p> <p>Level 6 - Adjacent to Western fire door</p> <p>Finding:</p> <p>At the time of inspection, a noticeable amount of scraping and chipping was found on the floor tiles in front of the western fire door stairwell.</p> <p>The Guide to Standards and Tolerances 2015 clause 11.05 states:</p> <p><i>"Tiles are defective if they are cracked, pitted, chipped, scratched or loose at handover. After handover, tiles are defective where the builder's workmanship causes the tiles to become cracked, pitted, chipped or loose within 24 months."</i></p> <p>The Occupancy Permit was signed on the 04/11/2016, this still falls within the 24 month period.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to remove defective tiles and reinstall new tiles. The tiles that are to be placed must match the existing pattern and colour of the surrounding floor tiles.</p>	 

Item	Details	Photographic Details
31.	<p>Location:</p> <p>Level 6 - Western fire door to stairwell</p> <p>Finding:</p> <p>At the time of inspection, the fire door does not self-close.</p> <p>The NCC 2015 volume one, performance requirement C3.4 states:</p> <p><i>"(a) Where protection is required, doorways, windows and other openings must be protected as follows:</i></p> <p><i>(i) Doorways—</i></p> <p><i>(A) internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or</i></p> <p><i>(B) –/60/30 fire doors that are self-closing or automatic closing."</i></p> <p>However, upon further inspection, it was observed that there are scrapes along the floor tiles where the door fully closes. This indicates that the door has been hung too low and is scraping along the tiles when it's being forced shut.</p> <p>This is a safety hazard during a fire emergency event as it can allow fire and smoke to slip through the gap of the open door.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The fire safety door leaf is to be replaced by a correctly measured and fitted fire door leaf. Ensure that the fire door's function and clearances are compliant with AS1905.1-2015.</p>	


Level 8

Item	Details	Photographic Details
32.	<p>Location:</p> <p>Level 8 - Western fire door to stairwell</p> <p>Finding:</p> <p>On the day of inspection, the fire safety door did not self-close. This is a safety hazard during a fire emergency event as it can allow fire and smoke to slip through the gap.</p> <p>The NCC 2015 volume one, performance requirement C3.4 states:</p> <p><i>"(a) Where protection is required, doorways, windows and other openings must be protected as follows:</i></p> <p><i>(i) Doorways—</i></p> <p><i>(A) internal or external wall-wetting sprinklers as appropriate used with doors that are self-closing or automatic closing; or</i></p> <p><i>(B) –/60/30 fire doors that are self-closing or automatic closing."</i></p> <p>Given the time since handover, this is a maintenance issue.</p> <p>Recommendations:</p> <p>The OC is to adjust the fire door's self-closing mechanism so that it is able to self-close and self-latch.</p>	 


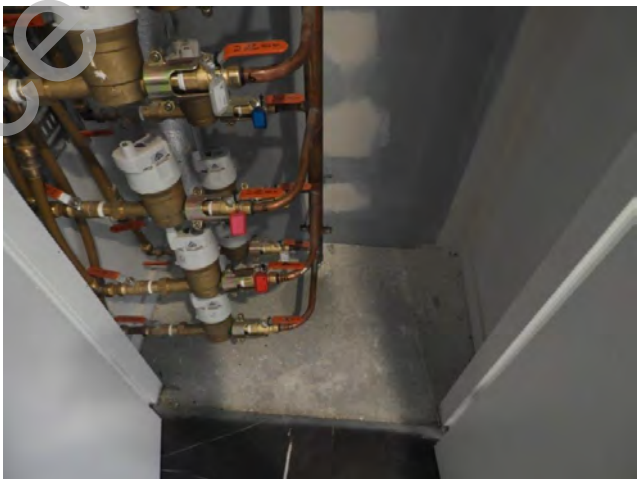
Level 9

Item	Details	Photographic Details
33.	<p>Location:</p> <p>Level 9 - Eastern Water Meters cabinet</p> <p>Finding:</p> <p>A redundant water pipe has been left behind and was not cleared after construction. This should have been removed prior to handover of the building.</p> <p>The Guide to Standards and Tolerances 2015 clause 18.08 cleaning states:</p> <p><i>"Building sites are defective if they are not clear of building debris."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to be cut down the redundant water pipe so that it is flush with the wall. The leftover opening is to be sealed appropriately afterwards and the redundant pipe is to be disposed of.</p>	 


Level 10


Item	Details	Photographic Details
34.	<p>Location:</p> <p>Level 10 - In front of the western lift</p> <p>Finding:</p> <p>The grout in the floor tiles has come loose and is able to be lifted off which leaves a void behind.</p> <p>The Guide to Standards and Tolerances 2015 clause 11.06 grouting and joints states:</p> <p><i>"Grout is defective if it becomes loose within 24 months of handover."</i></p> <p>The Occupancy Permit was signed on the 04/11/2016. Therefore, this still falls within the first 24 months after handover.</p> <p>A building defect has been noted.</p> <p>Recommendations:</p> <p>The existing grout is to be raked out and a new grout is to be applied to ensure there are no voids in between floor tiles.</p>	

Level 11

Item	Details	Photographic Details
35.	<p>Location:</p> <p>Level 11 - Western Water Meters cabinet</p> <p>Finding:</p> <p>The walls of the service cabinet is starved of paint. This was left incomplete after construction. Paint should have been applied to the entirety of the wall prior to handover of the building.</p> <p>The Guide to Standards and Tolerances 2015 clause 12.02 surface finish of paintwork states:</p> <p><i>"Paintwork is defective if the application has blemishes such as paint runs, paint sags, wrinkling, dust, bare or starved painted areas, colour variations, surface cracks, irregular and coarse brush marks, sanding marks, blistering, non-uniformity of gloss level and other irregularities in the surface that are visible from a normal viewing position."</i></p> <p>A defect is noted.</p> <p>Recommendations:</p> <p>The matching paint is to be supplied and applied onto the entirety of the wall in the service rise.</p>	 



Level 12

Item	Details	Photographic Details
36.	<p>Location:</p> <p>Level 12 - Waste room</p> <p>Finding:</p> <p>There is a fire extinguisher located inside the waste room. A fire extinguisher sign has been placed on the door leaf of the waste room. However, this is not visible from all points of direction towards the waste room. In an event of a fire emergency, this becomes a safety hazard as occupants in a state of panic may be unable to locate the nearest fire extinguisher.</p> <p>AS 2444-2001 clause 3.4 visibility states:</p> <p><i>"The extinguisher, or extinguisher location sign, shall be clearly visible from a distance up to 20 m in all directions of approach."</i></p> <p>A defect is noted.</p> <p>Recommendations:</p> <p>The builder is to place a perpendicular fire extinguisher sign that can be seen up to 20 m in all points of direction.</p>	

Item	Details	Photographic Details
37.	<p>Location:</p> <p>Level 12 - Common room area on the North-Western wall</p> <p>Finding:</p> <p>A gap between the skirting board and the floorboard has been seen from a normal viewing position. Upon further inspection, the gap was measured to be 6 mm.</p> <p>The Guide to Standards and Tolerances 2015 clause 10.01 gaps associated with internal fixing states:</p> <p><i>"Gaps between skirting and flooring are defective if they exceed 2 mm within the first 24 months after handover and are visible from a normal viewing position."</i></p> <p>Given the occupancy permit was signed on 04/11/2016, this still falls within the 24 month period after handover.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to carefully apply an appropriate sealant to fill in the gap. The sealant used is to be white in colour to match the colour of the skirting board and ensure that excess sealant on the floor boards be cleaned off.</p>	



Sample - Office Use Only

Level 13

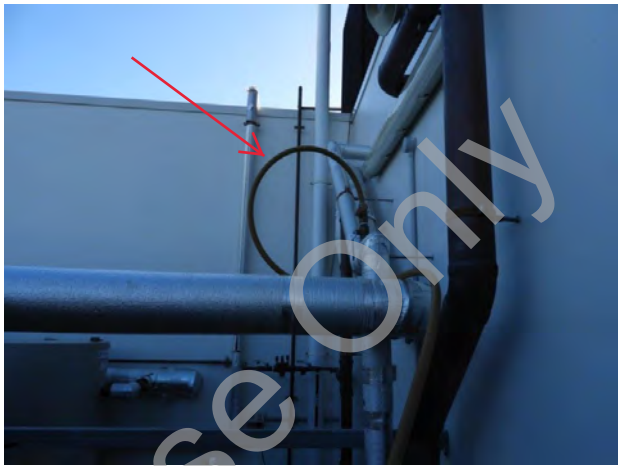
Item	Details	Photographic Details
38.	<p>Location:</p> <p>Level 13 - Western fire door</p> <p>Finding:</p> <p>The fire door was measured to have a 13 mm clearance from the door leaf to the floor covering. A metal trim has previously been installed to reduce the clearance that was stated in a previous inspection. This is a safety hazard as fire and smoke are able to slip through this gap during a fire emergency event.</p> <p>AS 1905.1-2015 clause 5.5.1 threshold and floor finish states:</p> <p><i>"Clearances between the bottom of all door leaves and the floor shall be as follows:</i></p> <p><i>NOTE: See Figures 1.4(A) and 5.5.1.</i></p> <p><i>(a) Between the leaf and the top surface of the floor including any floor covering—not less than 3 mm and not more than 10 mm."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>It is recommended that the fire safety door be replaced with a correctly measured and fitted fire safety door to ensure that clearances are compliant with AS 1905.1-2015.</p>	 


Level 14

Item	Details	Photographic Details
39.	<p>Location:</p> <p>Level 14 - South-West bulkhead</p> <p>Finding:</p> <p>Paint blistering and cracks on the plasterboard were observed at the South-West bulkhead. These are signs that are consistent with water ingress. At the time of inspection, there was no elevation in moisture recorded, as shown in image 2. From the civil drawing C19 shown in image 3, there is a floor waste that leads to a down pipe directly above the bulkhead. This indicates that waterproofing membrane for from the roof has failed and water ingress has occurred at this point.</p> <p>The NCC 2015 performance requirement FP1.4 states:</p> <p><i>"A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</i></p> <p><i>(a) unhealthy or dangerous conditions, or loss of amenity for occupants; and</i></p> <p><i>(b) undue dampness or deterioration of building elements."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The builder is to rectify this issue and ensure that the waterproofing membrane on the roof has not been compromised and water is unable to enter the building.</p> <p>The plasterboard of the bulkhead is to be removed and replaced with new plasterboard. Matching white paint is to be supplied and applied onto the entirety of the new bulkhead walls.</p> <p>Refer to Item 3 in the Major Defects section for recommendations on how to rectify the waterproofing membrane on the roof.</p>	  


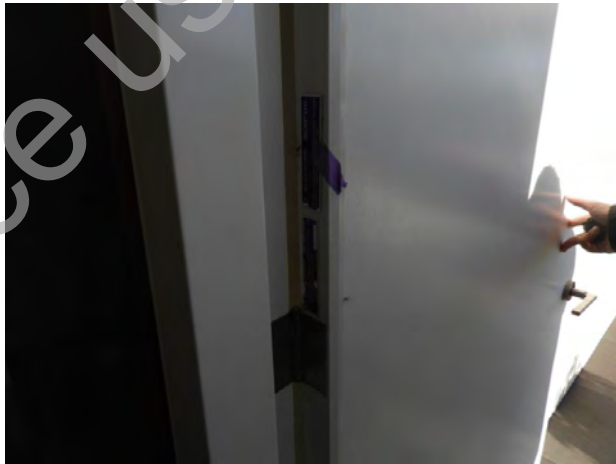
Item	Details	Photographic Details
40.	<p>Location:</p> <p>Level 14 - External hot water plant area</p> <p>Finding:</p> <p>The fire safety door does not contain the proper metal tags that are required to be attached onto the door leaf and door frame. Also, the door does not have a self-closing mechanism which allows the door to be open at all times.</p> <p>AS 1905.1-2005 clause 6.1.2 states:</p> <p>"(a) When the installation is complete, the manufacturer or the certifier shall inspect each installed fire-resistant doorset and shall affix the prescribed metal tag to the edge of the door leaf and to the doorframe, only if it can be confirmed that-</p> <p>(i) hardware has been installed in accordance with the specified instructions of the relevant manufacturer;</p> <p>(ii) hinges are correctly aligned;</p> <p>(iii) the doorset latches satisfactorily from the fully open position and from any intermediate position;</p> <p>(iv) the closer, if any, demonstrates satisfactory action as specified in Clause 2.2.5;</p> <p>(v) on the basis of evidence of test or the opinion of a registered testing authority, or both, and evidence of manufacture to the specifications of the tested specimen, the doorset complies with all other requirements of this Standard; and</p> <p>(vi) the clearances specified in Clause 5.5.2 have been met."</p> <p>And, Clause 2.1.4.3 Self-closing states:</p> <p>"Fire doorsets shall be self-closing. The self-closing device shall close the door from any angle of swing. Automatic doorsets incorporating permissible variation hold-open devices shall revert to self-closing on operation of a sensing device installed in accordance with the requirements of Clause 5.6.3 or, in the event of power failure to the hold-open device, the leaf or leaves fail-safe to the closed position."</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The prescribed metal fire-rating tags are to be installed on the door leaf and door frame by the builder. A self-closing mechanism is to be installed on the external of the door to ensure that the fire safety door is able to self-close from any angle of swing.</p>	 

Item	Details	Photographic Details
41.	<p>Location:</p> <p>Level 14 - External hot water plant area</p> <p>Finding:</p> <p>No waterproofing membrane has been laid onto the step up and penetrations for the base supports. The membrane along the sides of the step up do not terminate a sufficient amount up along the edge. The base support penetrations have not been made watertight with any form of sealant. Rain water is able to flow onto the concrete and ingress in through the penetrations. Over time, water ingress can lead to deterioration of the building's structure.</p> <p>AS 4654.2-2012 Clause 2.8.1.1 Height states:</p> <p><i>"Where the membrane termination is to prevent water entry, the finished height of the membrane above the finished surface level shall be sufficient to prevent water, including wind driven, flowing over the top of the membrane."</i></p> <p>The NCC 2015 performance requirement FP1.4 states:</p> <p><i>"A roof and external wall (including openings around windows and doors) must prevent the penetration of water that could cause—</i></p> <p>(a) <i>unhealthy or dangerous conditions, or loss of amenity for occupants; and</i></p> <p>(b) <i>undue dampness or deterioration of building elements."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>A bitumen liquid waterproofing membrane is to be supplied and applied to prevent water ingress into the concrete. Image 3 depicts the correct way to lay a waterproofing membrane post-installation of the metal post supports.</p>	   <p>(a) Prior to membrane installation</p> <p>FIGURE 2.12 (in part) TYPICAL DETAILS OF METAL POST SUPPORT</p>


Item	Details	Photographic Details
42.	<p>Location:</p> <p>Level 14 - External hot water plant area</p> <p>Finding:</p> <p>PEX piping has been used in an external area for the plant system. This is unsuitable to be used in area that is continuously exposed to UV radiation.</p> <p>Image 2 is taken directly from the Sharkbite website which a supplier of PEX piping. In their FAQ section, it clearly states that PEX piping is unsuitable for outdoor use.</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The PEX piping is to be removed and replaced with a suitable pipe for outdoor use.</p>	 <p>Not secure www.sharkbite.com/resources/faqs/pe-x-tubing/</p> <p>Q: Can I use PEX pipe outside?</p> <p>A: PEX pipe is not approved for outdoor applications and is not approved for continuous UV exposure. PEX pipe should not be stored in direct sunlight.</p>

Item	Details	Photographic Details
43.	<p>Location:</p> <p>Level 14 - Hot water plant area</p> <p>Finding:</p> <p>PVC piping has been installed in an external environment without being protected from UV radiation.</p> <p>AS 2032-2006 clause 3.4.5 protection from UV radiation states:</p> <p><i>"PVC pressure pipes installed to operate in direct sunlight shall be painted with light coloured water-based paints, or be otherwise protected."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>A UV-resistant paint is to be applied to the entirety of the PVC pipes exposed to the external environment.</p>	

Sample - Office Use Only

Item	Details	Photographic Details
44.	<p>Location:</p> <p>Level 14 Courtyard</p> <p>Finding:</p> <p>A fire safety door does not contain the proper signage. Metal fire tags are attached to the door leaf and a self-closing mechanism is installed.</p> <p>The NCC 2015 volume one clause D2.23 signs on doors states:</p> <p><i>"(b) A sign referred to in (a) must be in capital letters not less than 20 mm high in a colour contrasting with the background and state—</i> <i>(ii) for a self-closing door—</i> "FIRE SAFETY DOOR DO NOT OBSTRUCT DO NOT KEEP OPEN";</p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The proper signage is to be placed onto the door to indicate that it is a fire safety door. The metal tag that has fallen off and taped onto the door leaf is to be installed correctly onto the door frame.</p>	 

Rooftop Plant Area

Item	Details	Photographic Details
45.	<p>Location:</p> <p>Rooftop plant area - Adjacent to solar panels</p> <p>Finding:</p> <p>There are redundant pipes protruding out of the floor. These have not been removed after construction. This is a safety hazard as trips and falls are likely to occur from this. This should have been removed prior to handover.</p> <p>The Guide to Standards and Tolerances 2015 clause 18.08 cleaning states:</p> <p><i>"Building sites are defective if they are not clear of building debris."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The redundant pipes are to be cut and flushed into the floor. It should be properly sealed and a waterproofing membrane applied over the top to prevent water ingress.</p>	



Sample - Office Use Only

Item	Details	Photographic Details
46.	<p>Location:</p> <p>Rooftop plant area adjacent to Linkfire controls</p> <p>Finding:</p> <p>There are redundant service pipes that have not been removed after construction under the Linkfire control boards. This should have been removed prior to handover.</p> <p>The Guide to Standards and Tolerances 2015 clause 18.08 cleaning states:</p> <p><i>"Building sites are defective if they are not clear of building debris."</i></p> <p>A defect has been noted.</p> <p>Recommendations:</p> <p>The redundant pipes are to be cut and flushed into the floor. They should be appropriately sealed and a waterproofing membrane applied over the top to prevent water ingress.</p>	

Sample - Office Use Only

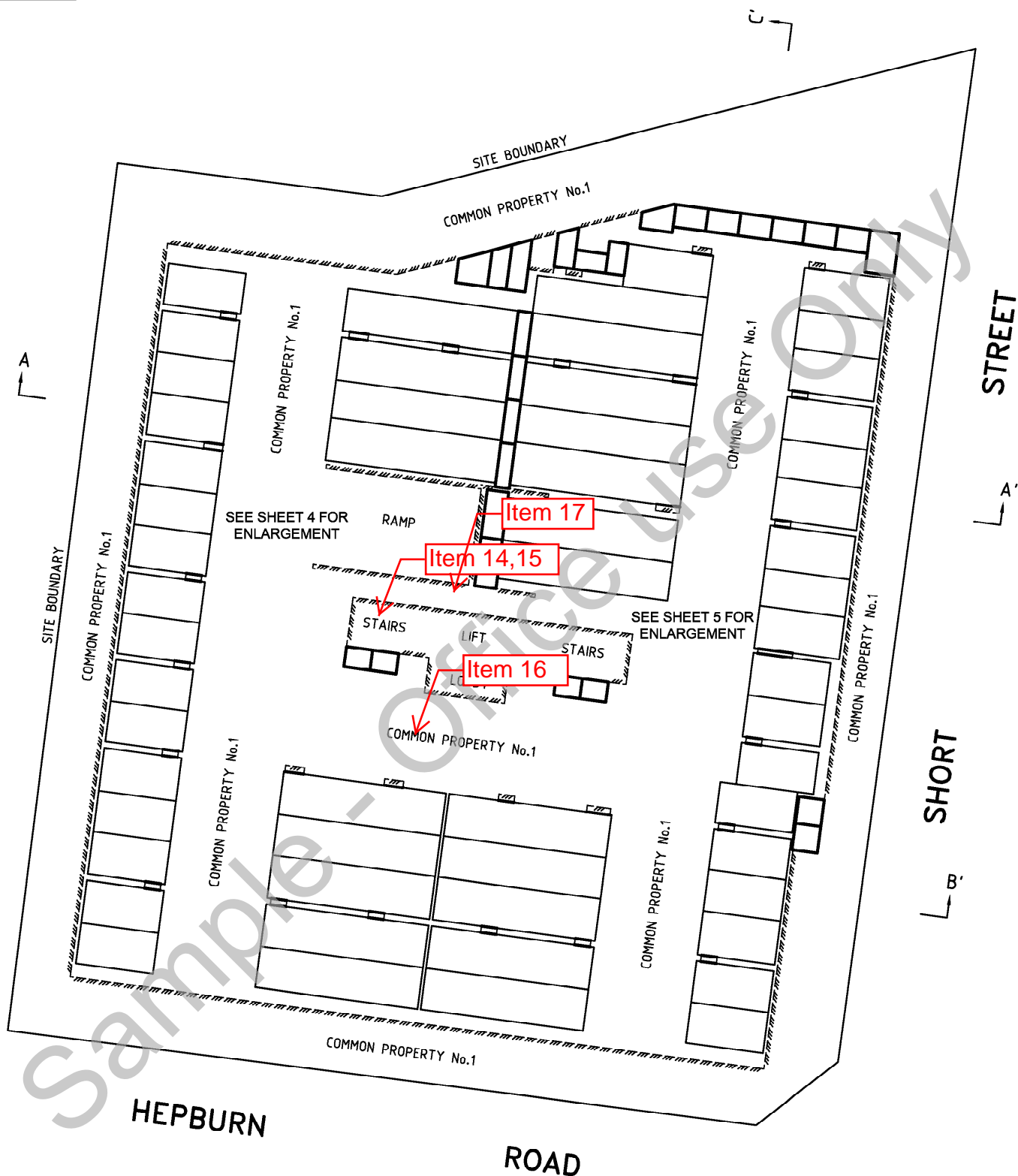
Part 3: Videos

Video Description	Video
Video 1 Street Level Drainage Pits	
Video 2 Stormwater Pipes Thermal Imaging	

Video Description	Video
<p>Video 3 Rooftop Waterproofing Membrane</p>	
<p>Video 4 Rooftop Waterproofing Membrane</p>	

Part 4: Defect Map - Plan of Subdivision

Sample - Office use Only



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A.C.N. 129 548 054
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SCALE
1:250

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LENGTHS ARE IN METRES

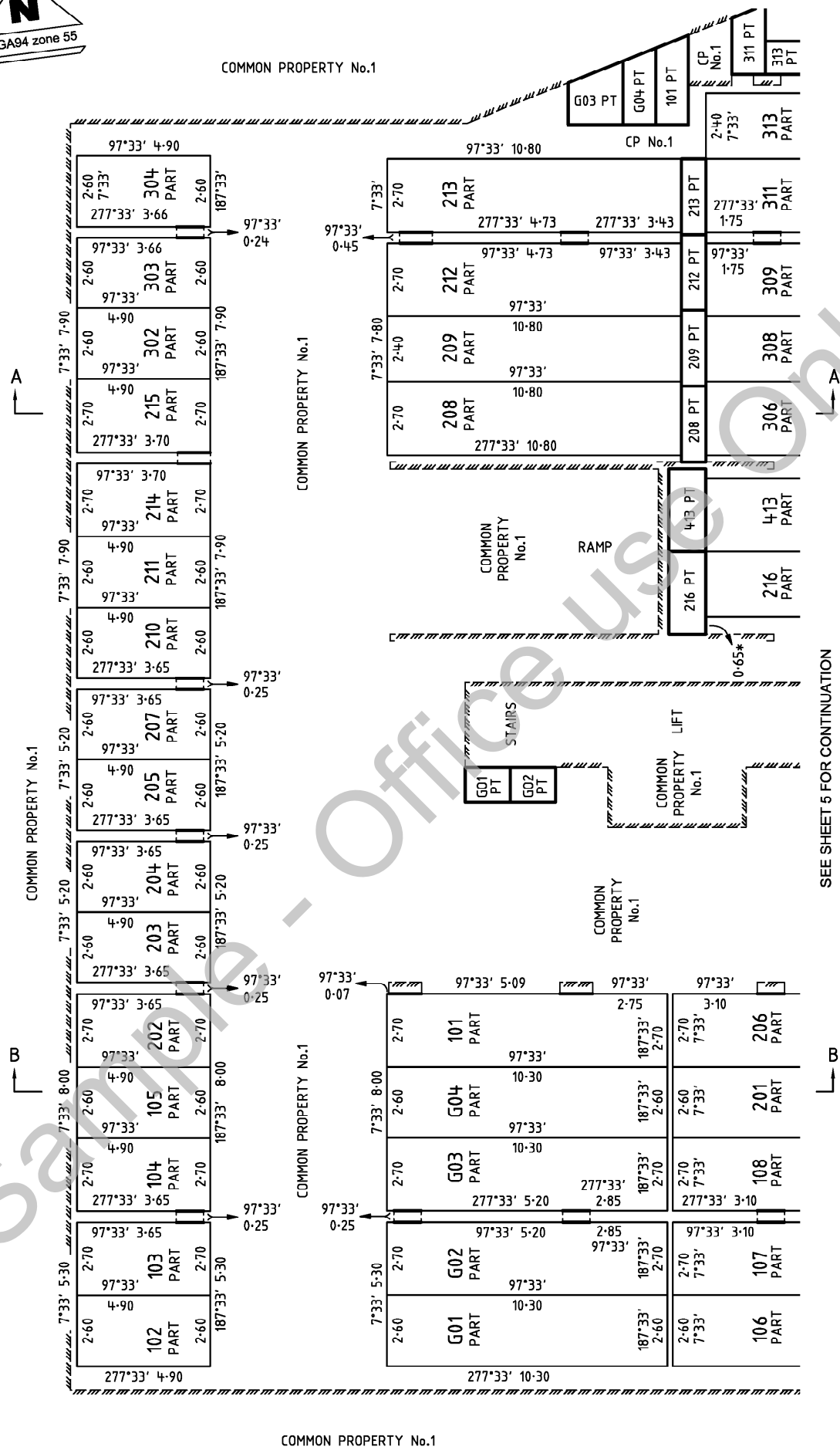
ORIGINAL SHEET
SIZE: A3

SHEET 3

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

50 of 85

BASEMENT LEVEL 3 (PART) ENLARGEMENT 1



SEE SHEET 5 FOR CONTINUATION



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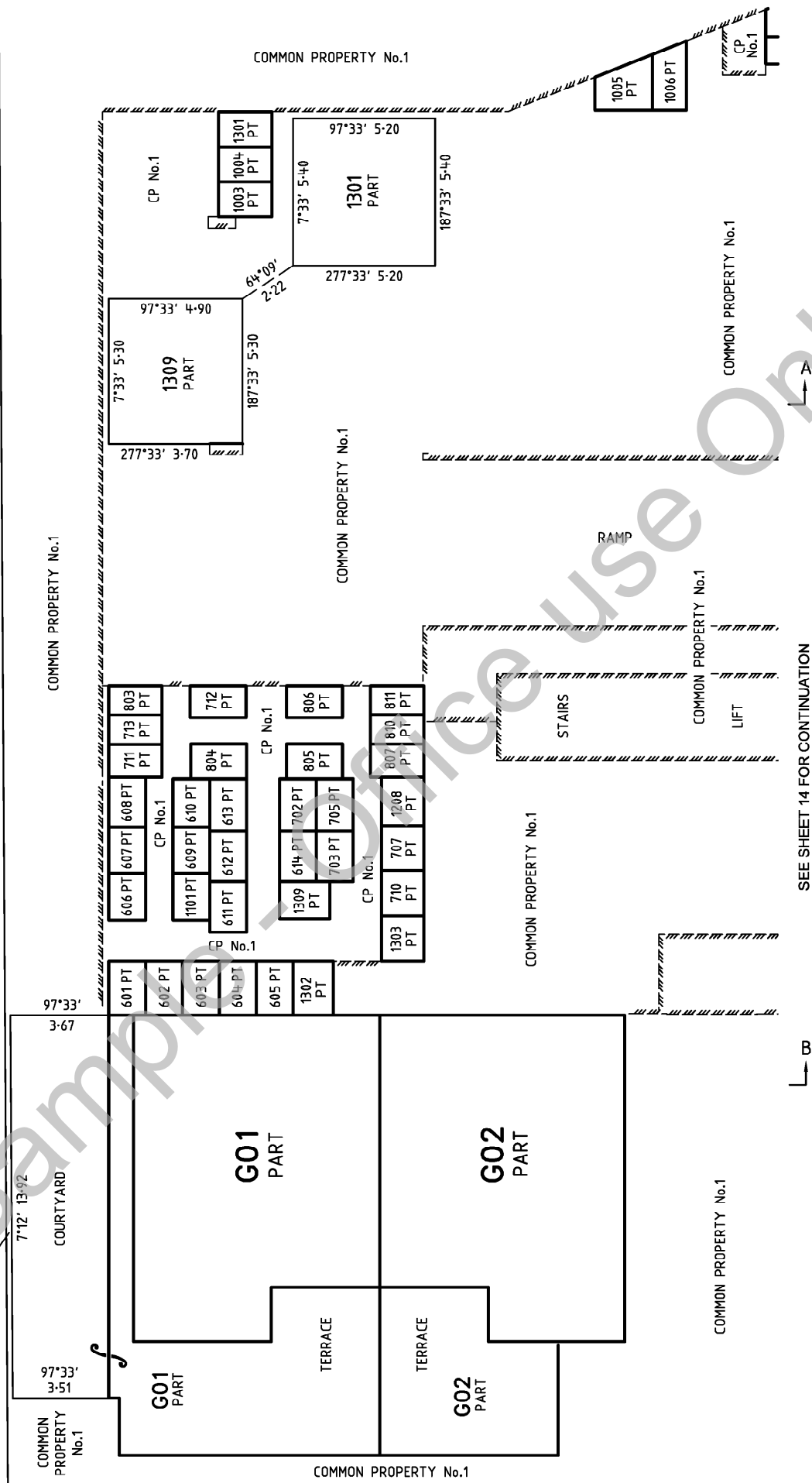
SCALE 1:150		15 0 3 6 LENGTHS ARE IN METRES		ORIGINAL SHEET SIZE: A3	SHEET 4
LICENSED SURVEYOR: ANDREAS CIRUGEDA VERSION C					

GROUND LEVEL (PART)

ENLARGEMENT 7



SITE BOUNDARY



SEE SHEET 14 FOR CONTINUATION

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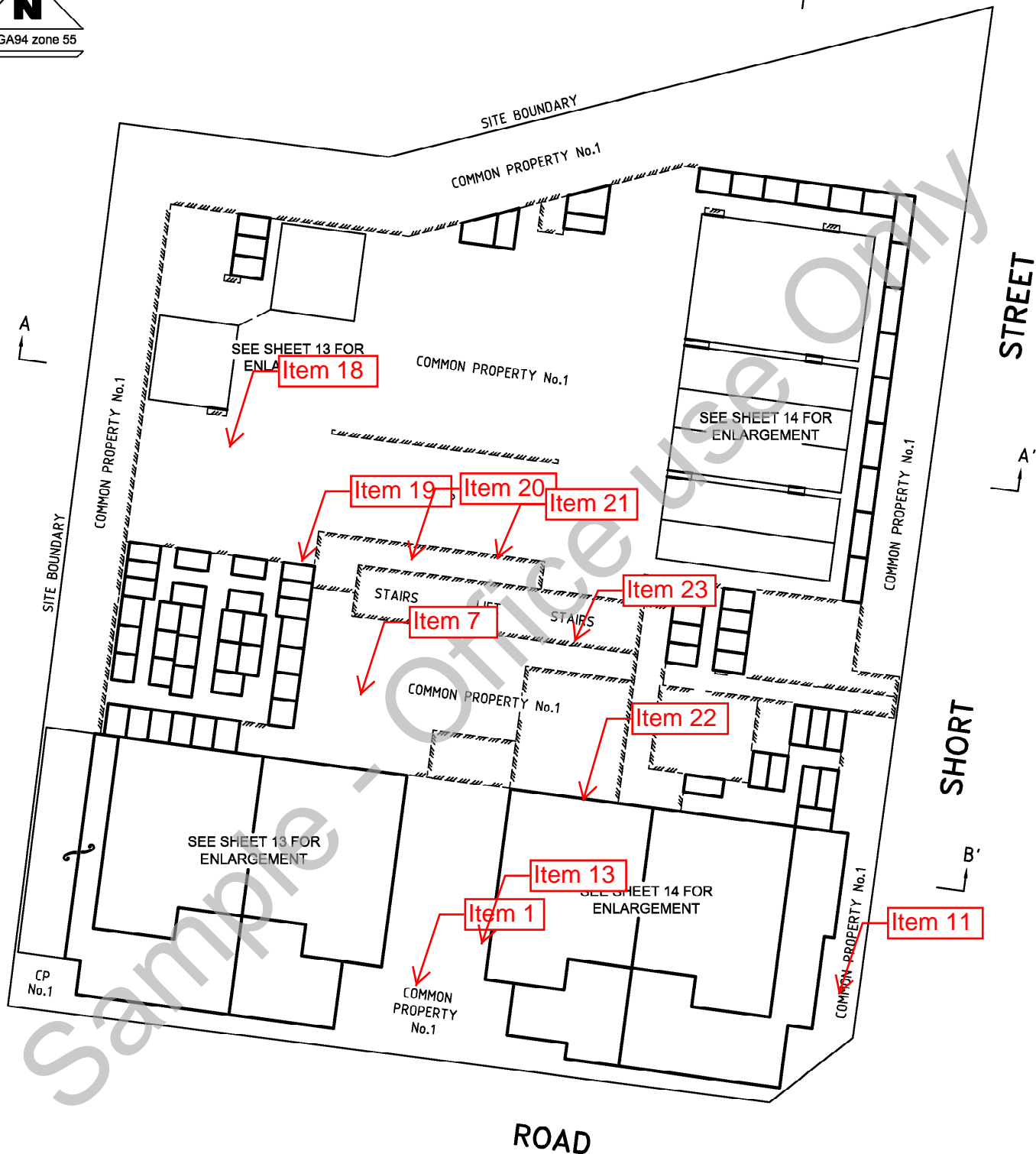
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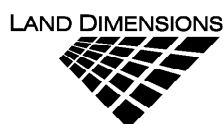
ORIGINAL SHEET
SIZE: A3

SHEET 13

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C



GROUND LEVEL
DIAGRAM 5



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SCALE
1:250

2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 12

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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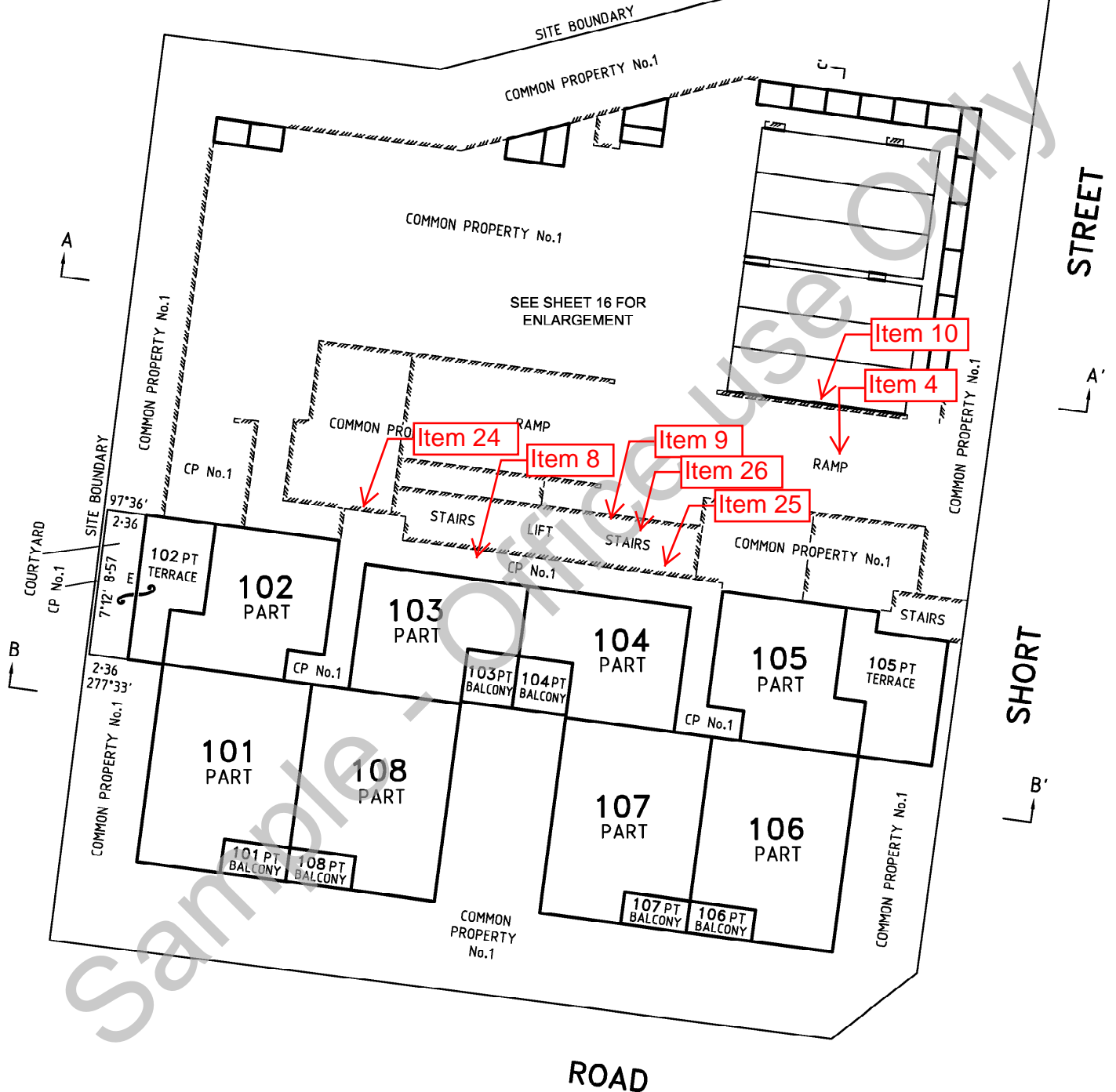


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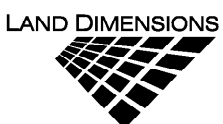
SCALE
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LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

Signed by: Andreas Cirugeda (Land Dimensions Pty Ltd) Surveyor's Plan Version (C) SPEAR Ref: S066907J 20/09/2016 Amended: 08/11/2016.



LEVEL 1
DIAGRAM 6



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SCALE
1:250

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LENGTHS ARE IN METRES

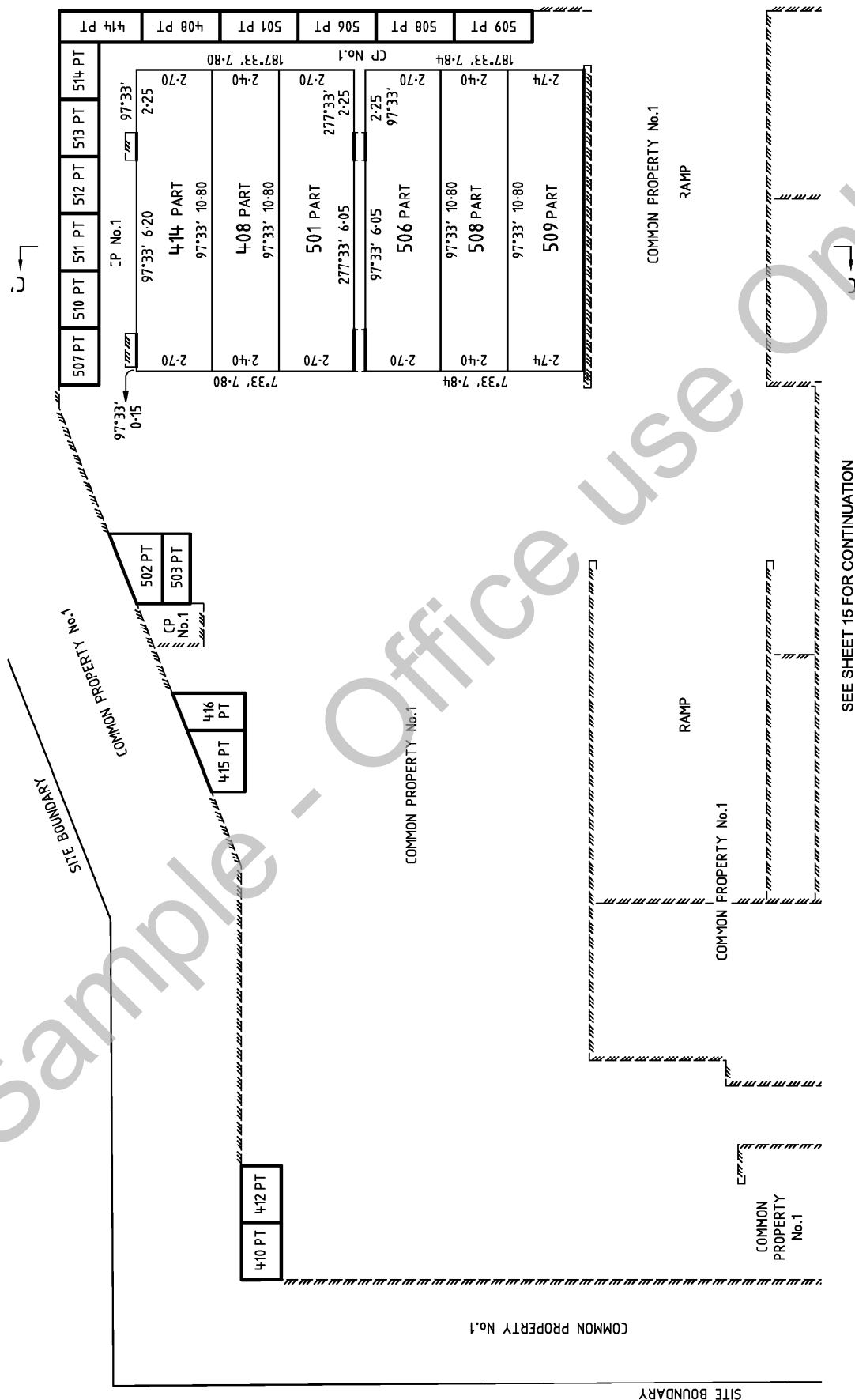
ORIGINAL SHEET
SIZE: A3

SHEET 15

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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LEVEL 1 (PART)
ENLARGEMENT 9



SEE SHEET 15 FOR CONTINUATION

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3D DIMENSIONS

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SCALE

0 3
LENGTHS ARE IN METRES

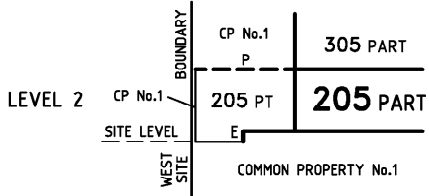
LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

ORIGINAL SHEET
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SHEET 16

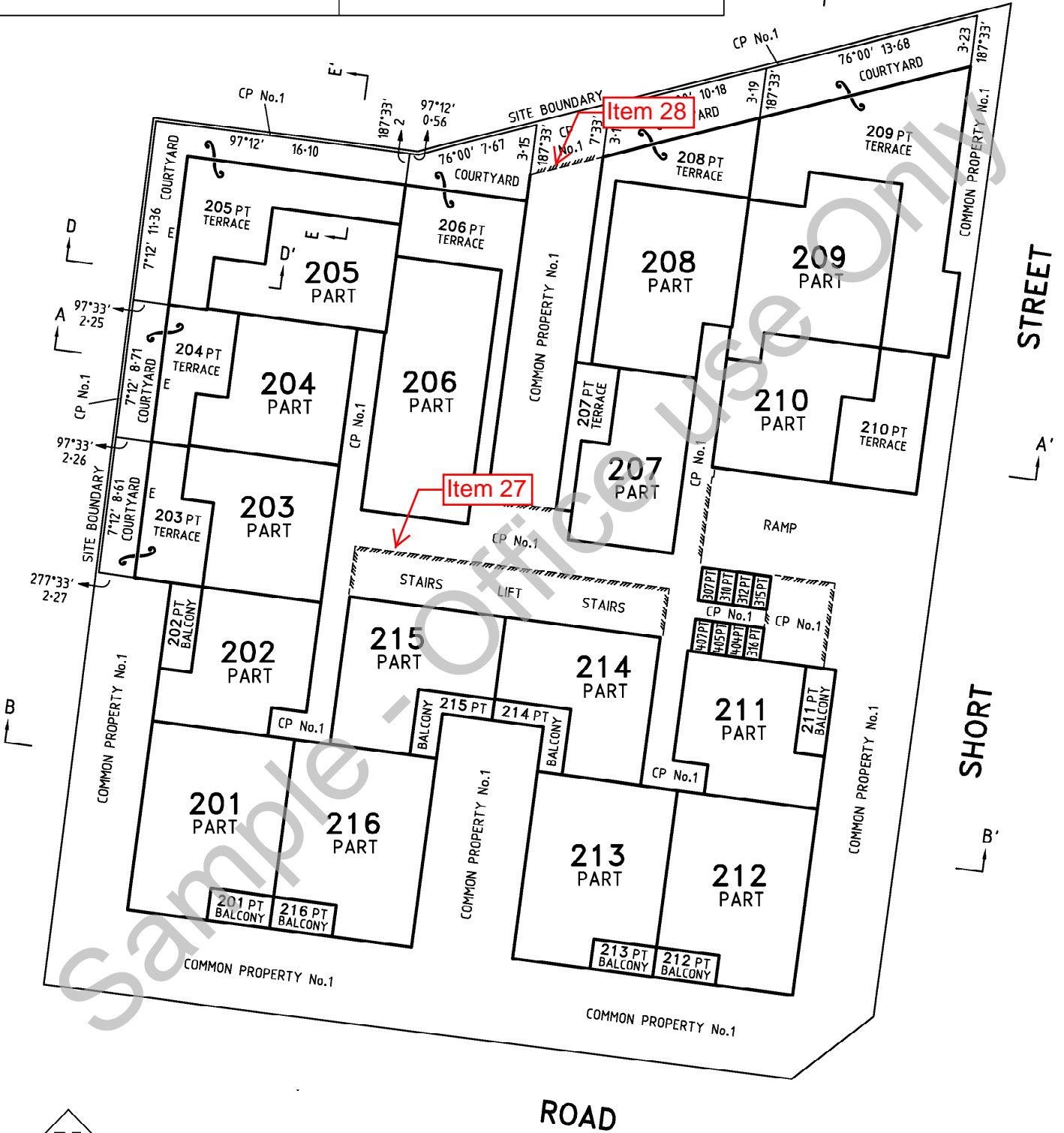
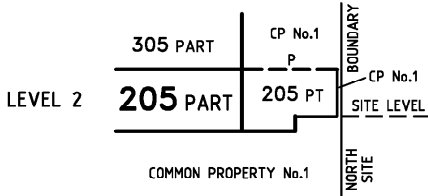
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NOT TO SCALE

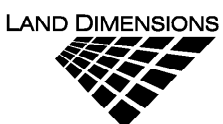


SECTION E-E'

NOT TO SCALE



LEVEL 2
DIAGRAM 7



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SCALE
1:250

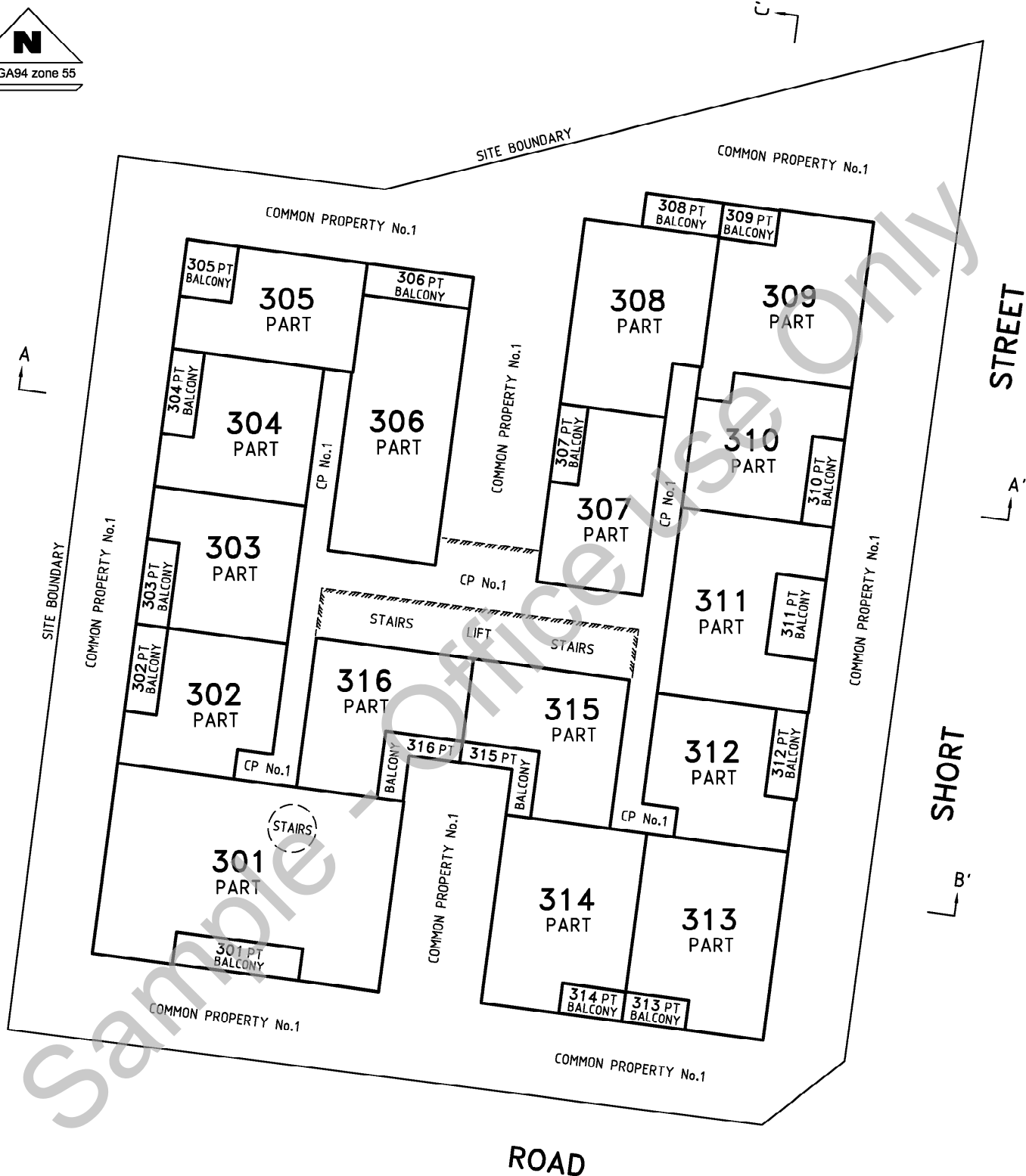
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LENGTHS ARE IN METRES

ORIGINAL SHEET
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SHEET 17

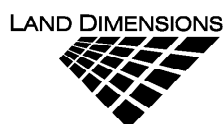
LICENSED SURVEYOR: ANDREAS CIRUGEDA
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ROAD

LEVEL 3
DIAGRAM 8



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SCALE
1:250

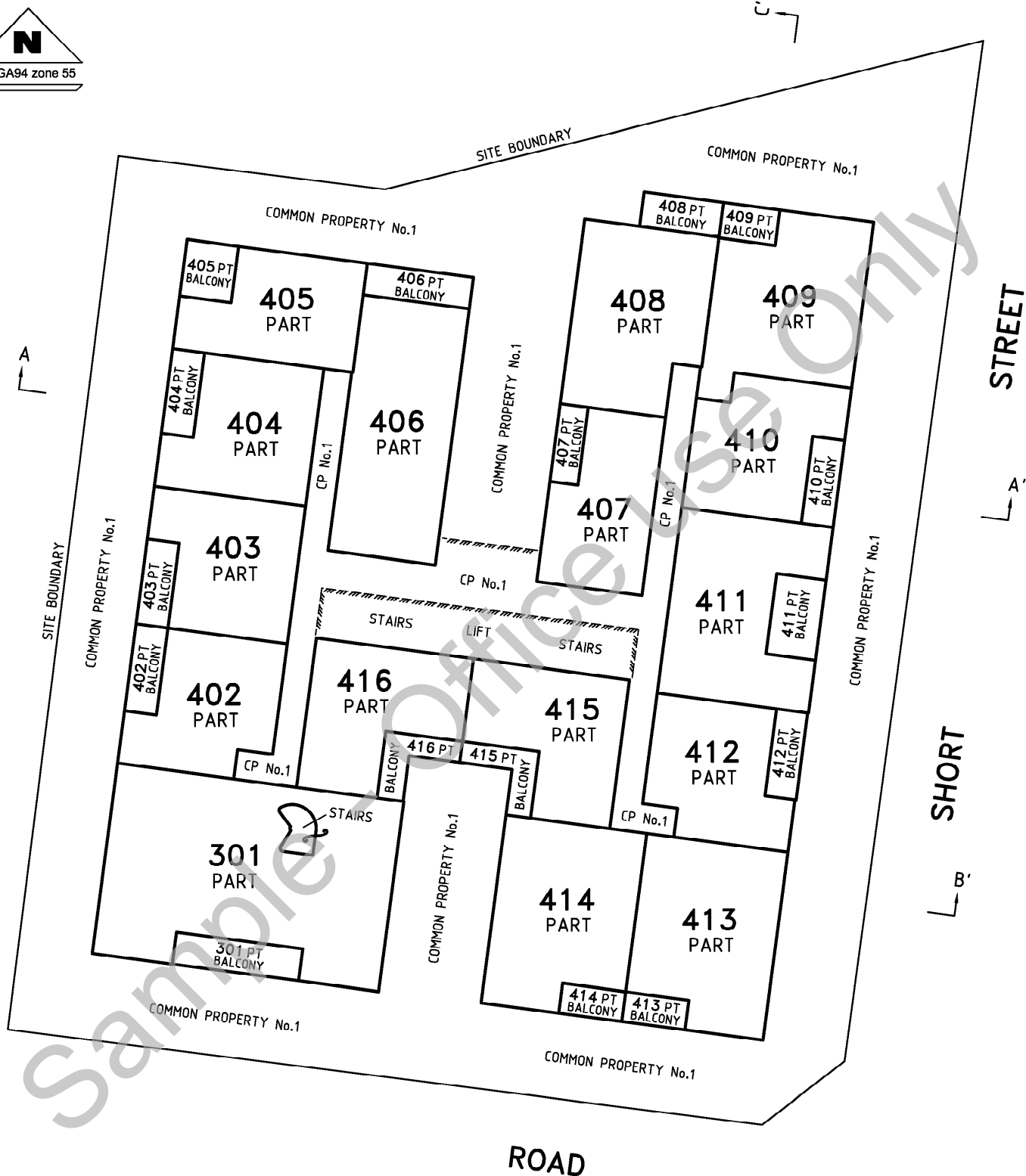
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LENGTHS ARE IN METRES

ORIGINAL SHEET
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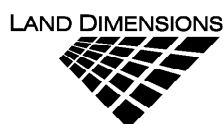
SHEET 18

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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LEVEL 4
DIAGRAM 9



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SCALE
1:250

2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 19

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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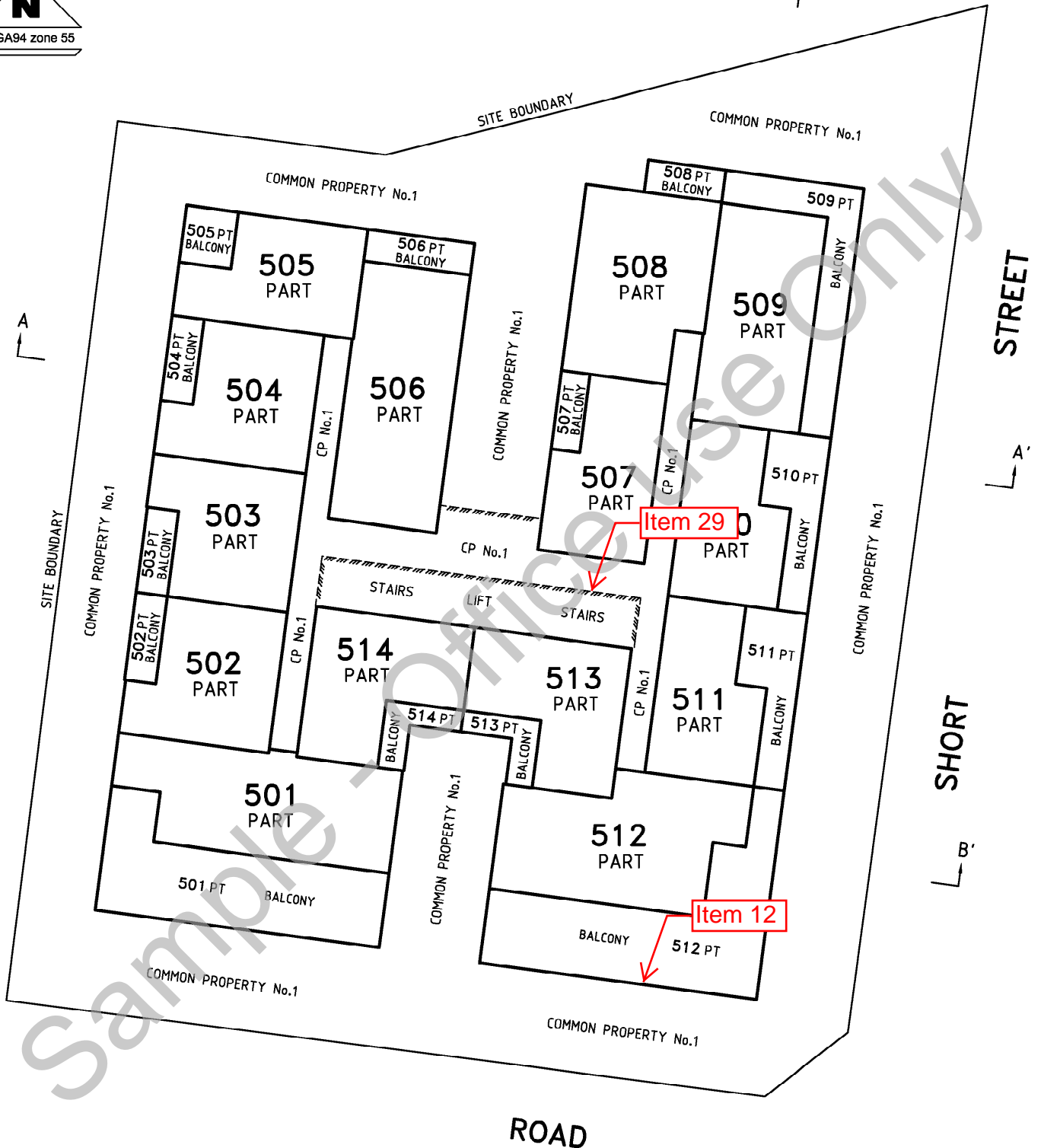


N

MGA94 zone 55

A

B



LEVEL 5
DIAGRAM 10

LAND DIMENSIONS



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SCALE
1:250

2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 20

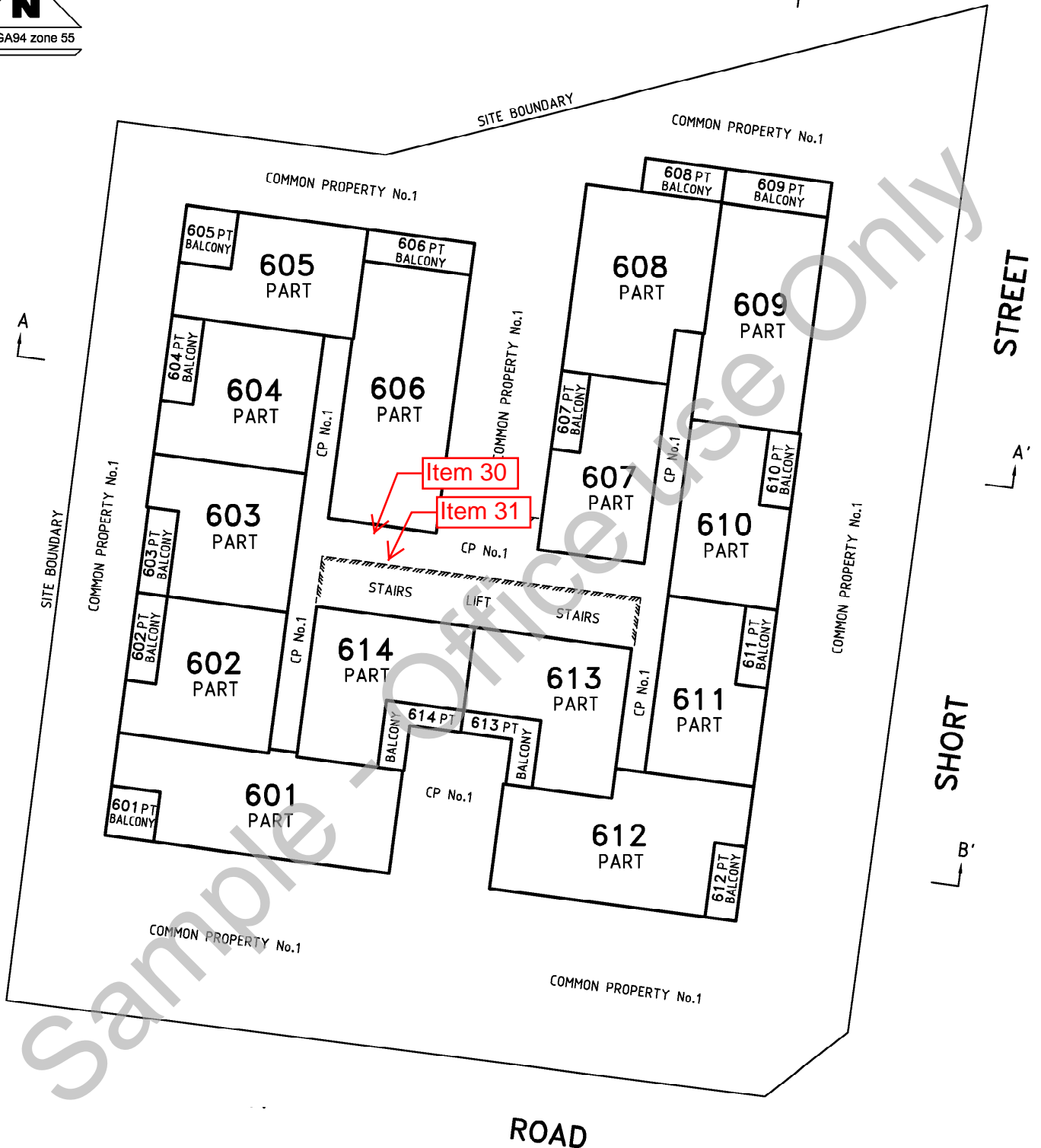
LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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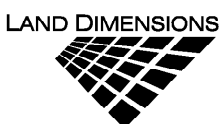


N

MGA94 zone 55



LEVEL 6
DIAGRAM 11



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SCALE
1:250

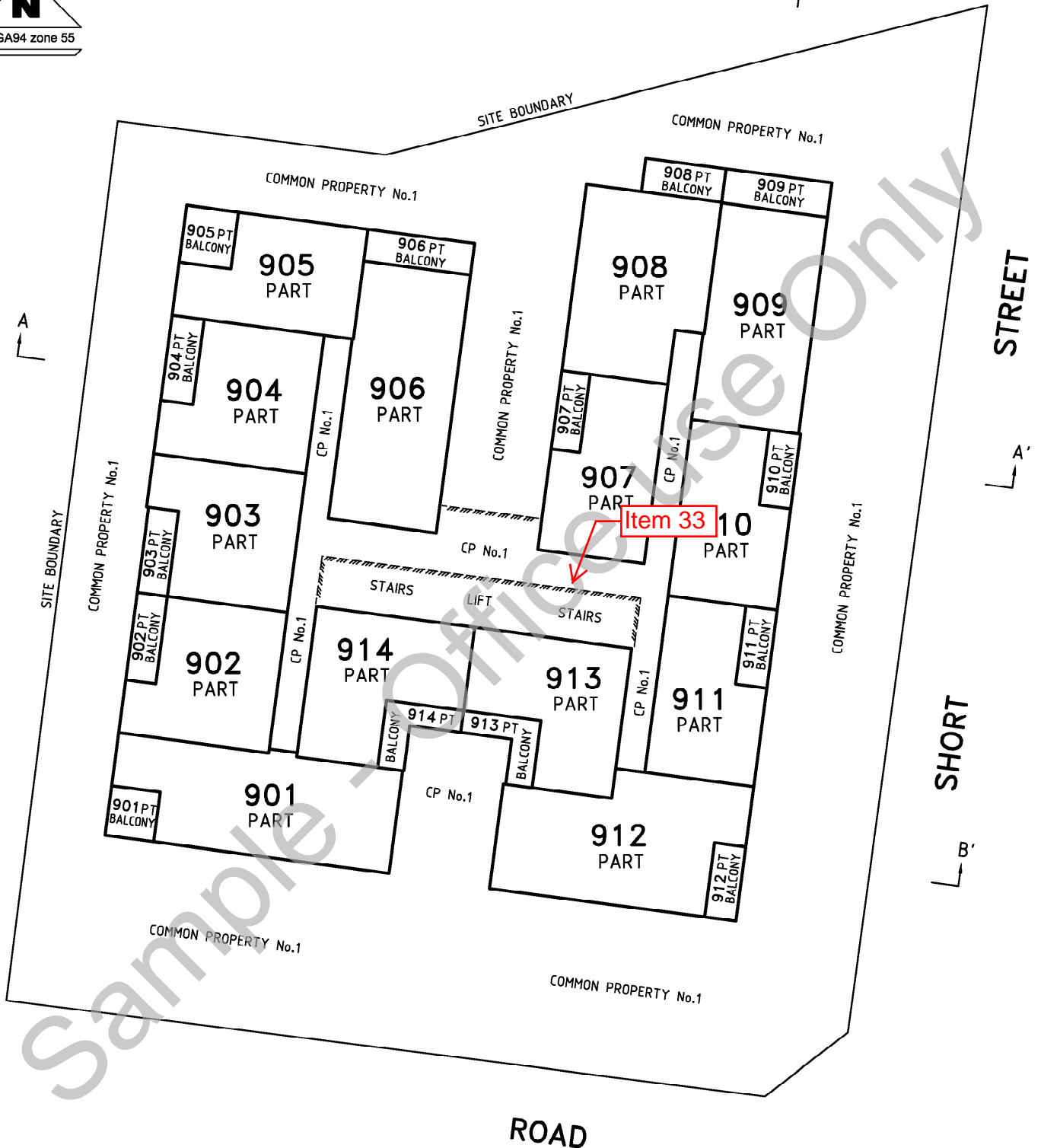
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LENGTHS ARE IN METRES

ORIGINAL SHEET
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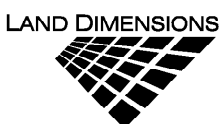
SHEET 21

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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LEVEL 9
DIAGRAM 14



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Level 1 Suite 2
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SCALE
1:250

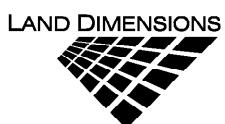
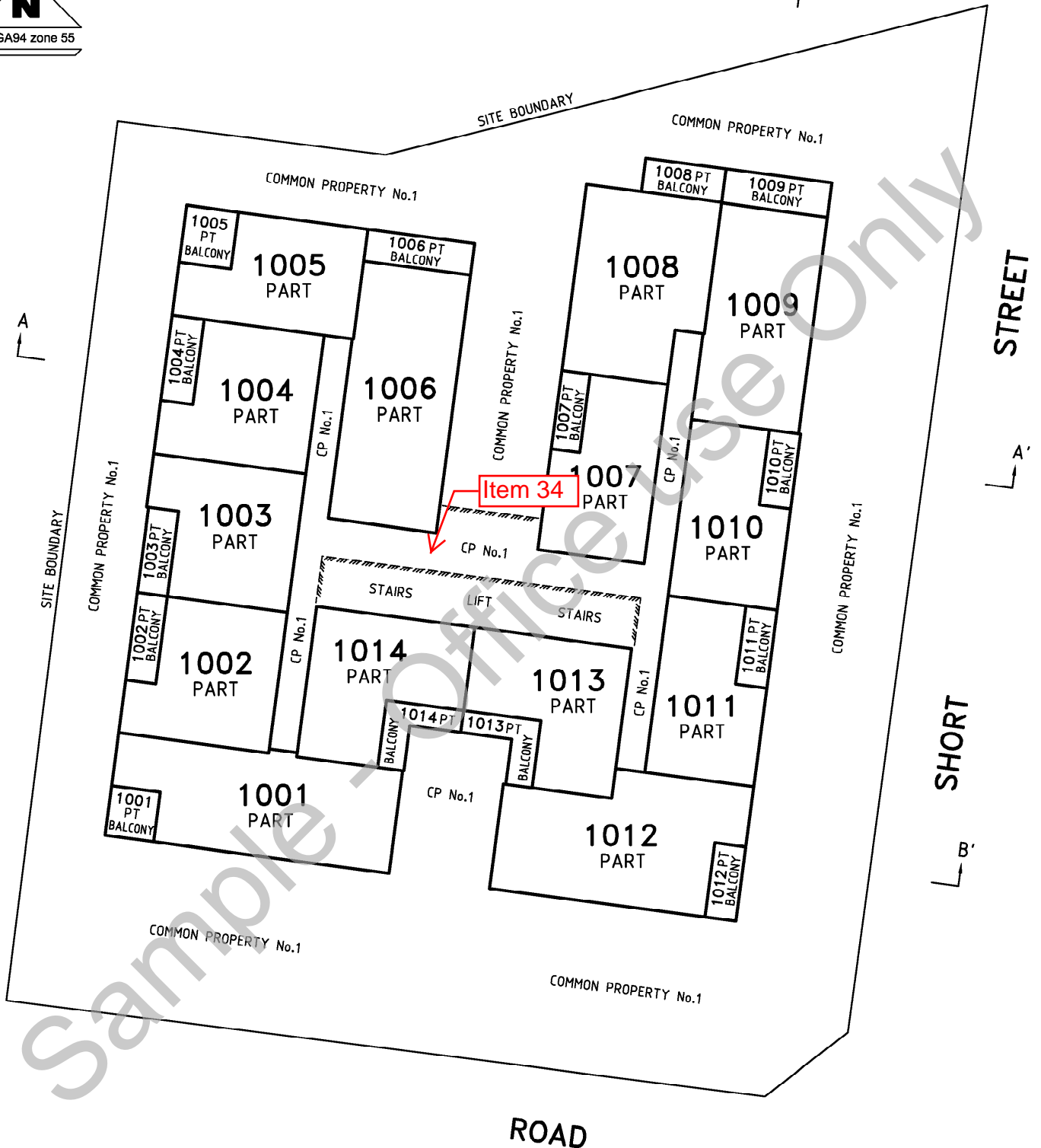
2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 24

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VERSION C

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SCALE
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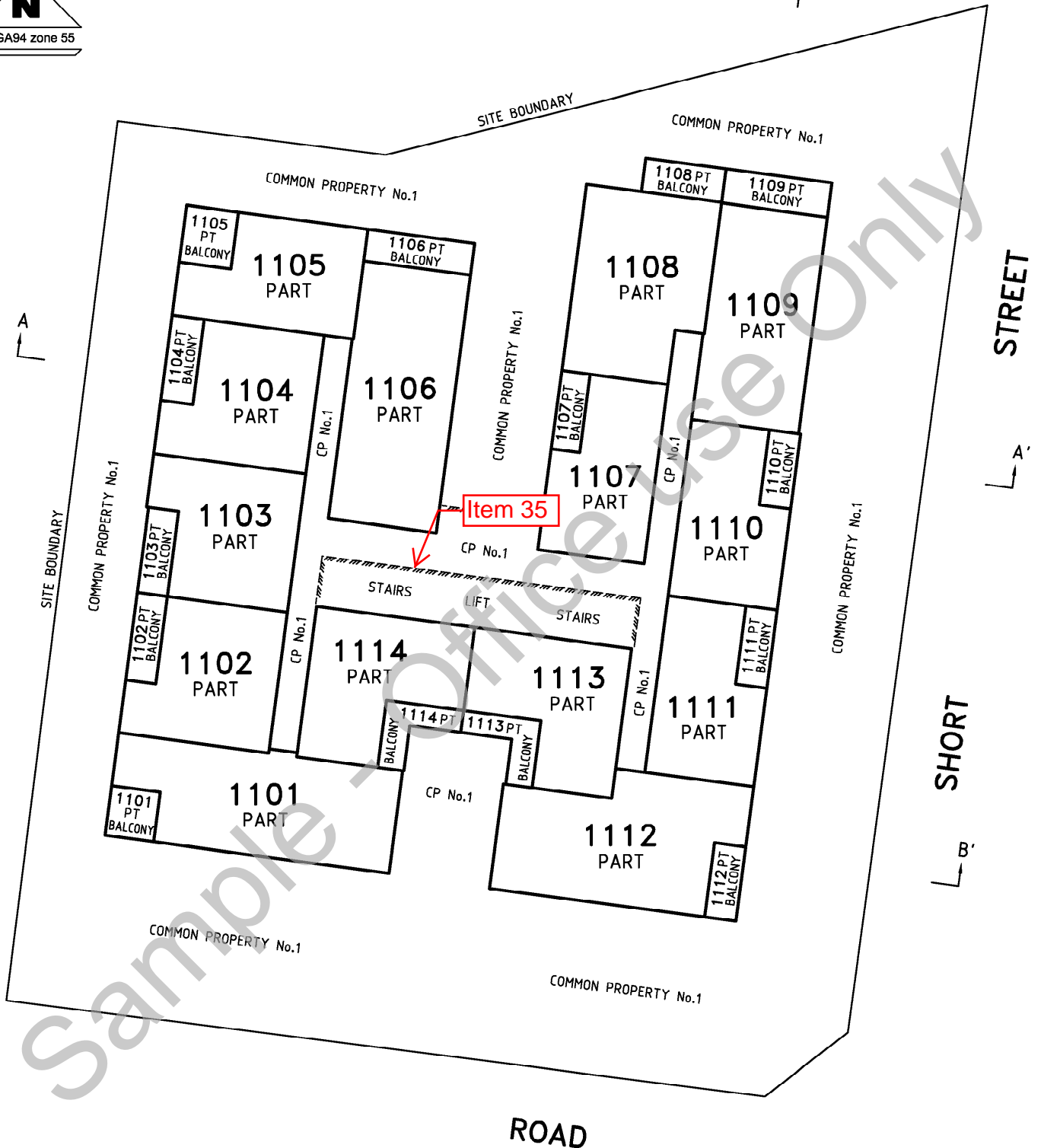
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LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

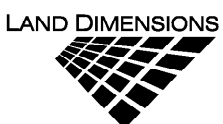
SHEET 25

LICENSED SURVEYOR: ANDREAS CIRUGEDA
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LEVEL 11
DIAGRAM 16



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SCALE
1:250

2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 26

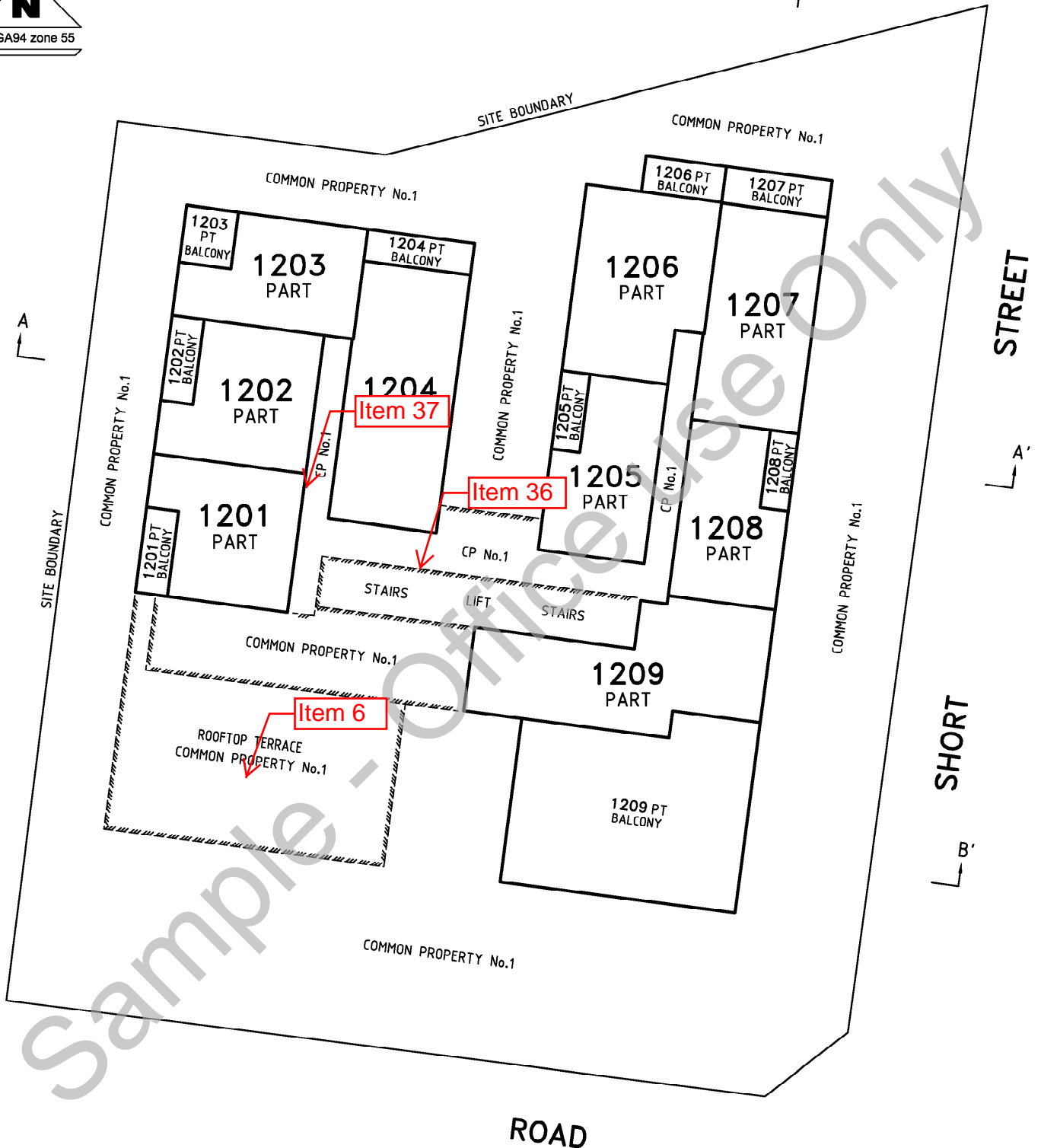
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VERSION C

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N

MGA94 zone 55



ROAD

LEVEL 12
DIAGRAM 17

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SCALE
1:250

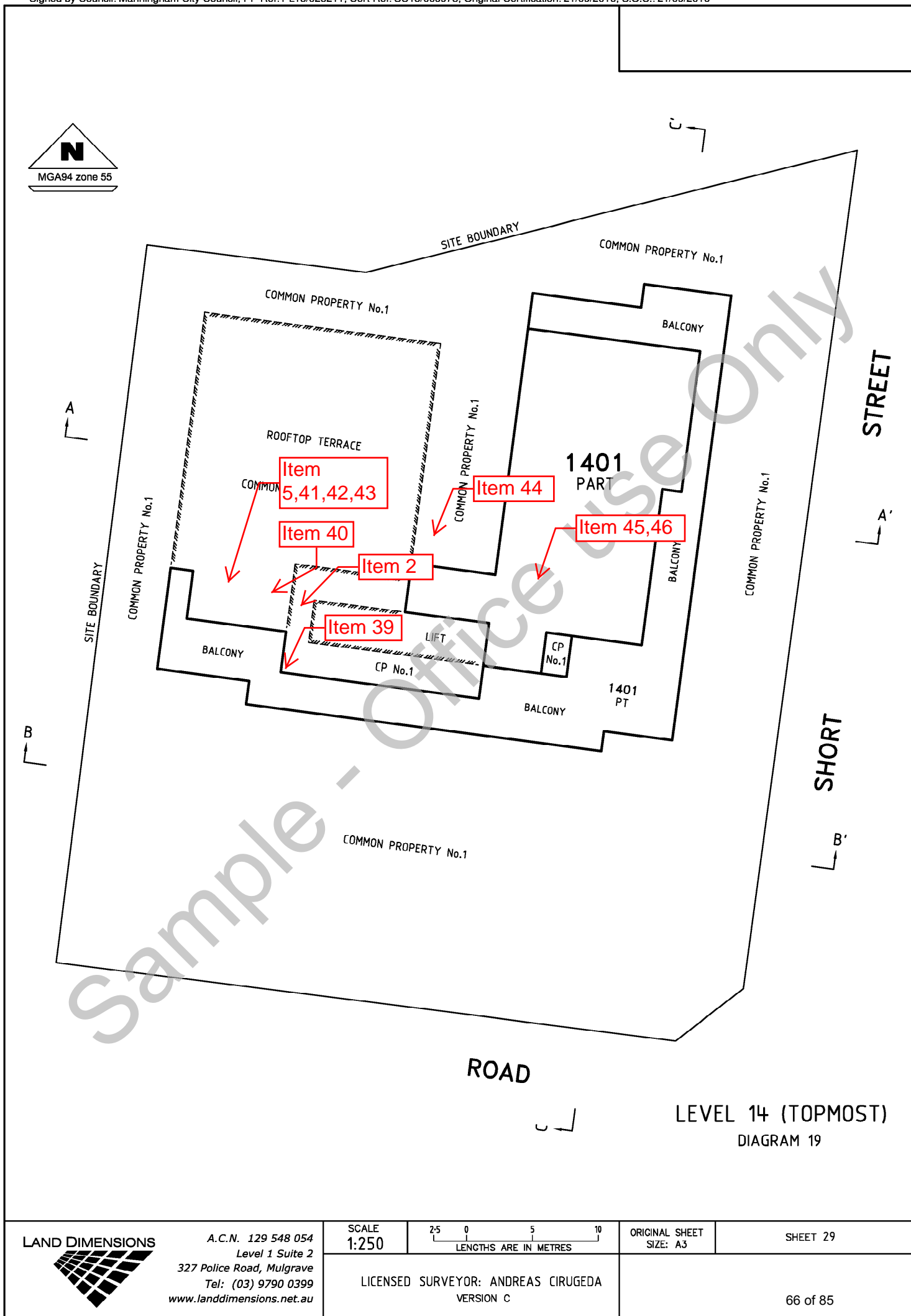
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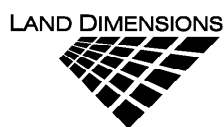
SHEET 27

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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LEVEL 14 (TOPMOST)
DIAGRAM 19



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SCALE
1:250

2.5 0 5 10
LENGTHS ARE IN METRES

ORIGINAL SHEET
SIZE: A3

SHEET 29

LICENSED SURVEYOR: ANDREAS CIRUGEDA
VERSION C

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Part 5: Thermal Imaging Report

Sample - Office use Only

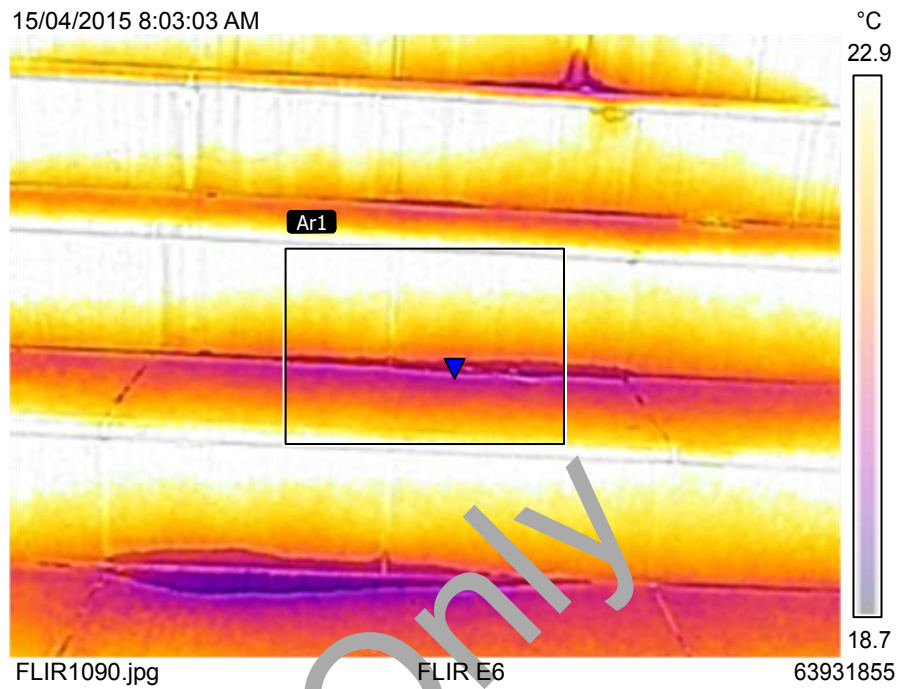
Measurements °C

Ar1	Min	19.9
-----	-----	------

Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:03:03 AM



15/04/2015 8:03:03 AM



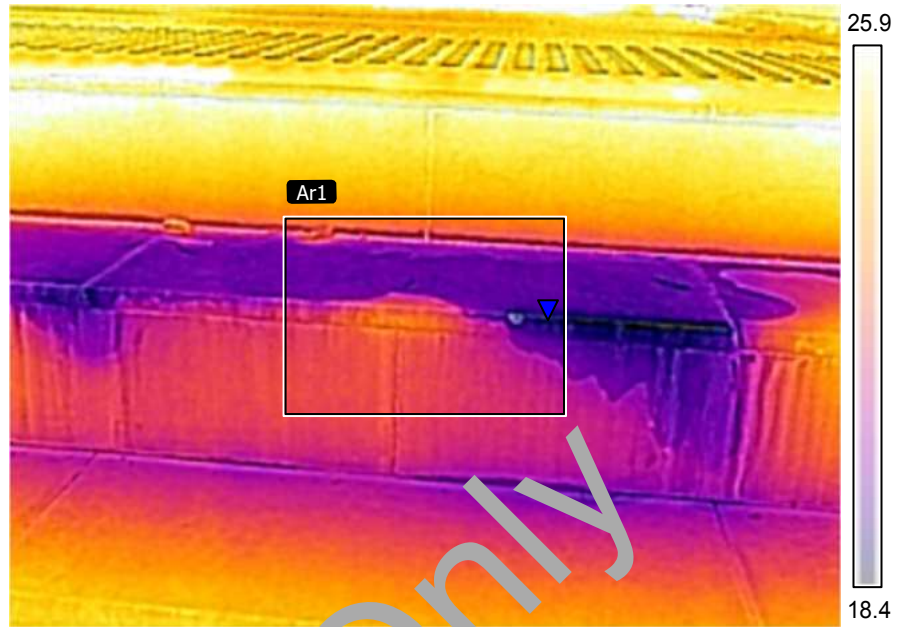
Measurements °C

Ar1	Min	18.6
-----	-----	------

Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:03:18 AM



FLIR1091.jpg

FLIR E6

63931855

15/04/2015 8:03:18 AM



FLIR1091.jpg

FLIR E6

63931855

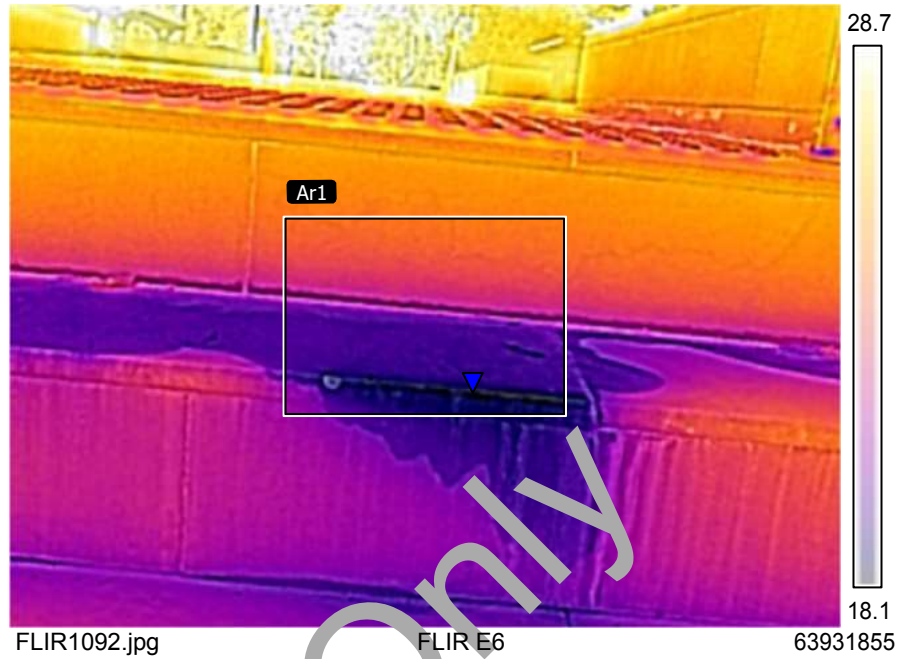
Measurements °C

Ar1	Min	18.0
-----	-----	------

Parameters

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Refl. temp.	20 °C

15/04/2015 8:03:38 AM



15/04/2015 8:03:38 AM



Measurements °C

Ar1	Min	21.5
-----	-----	------

Parameters

Emissivity	0.8
Refl. temp.	20 °C

Carpark - Stage 1

Findings:

Moisture can be seen penetrating the blockwork wall and causing efflorescence to be seen on the surface of the blockwork wall. On the other side of this blockwork wall there is a garden bed which may be contributing to the water ingress if it is not correctly water proofed.

This is evident in photos:

1093, 1094 and 1095

15/04/2015 8:05:04 AM



15/04/2015 8:05:04 AM



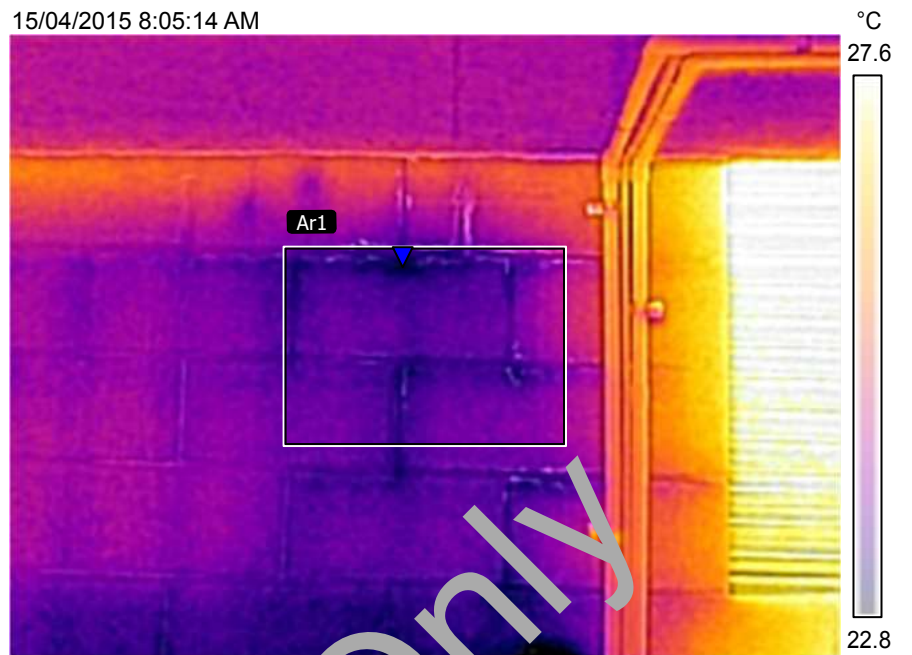
Measurements °C

Ar1	Min	22.9
-----	-----	------

Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:05:14 AM



FLIR1094.jpg

FLIR E6

63931855

15/04/2015 8:05:14 AM



FLIR1094.jpg

FLIR E6

63931855

Measurements °C

Ar1	Min	21.5
-----	-----	------

Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:05:30 AM



15/04/2015 8:05:30 AM



Measurements			°C
Ar1	Min	22.8	

Parameters		
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Refl. temp.	20 °C	

Carpark - Stage 1

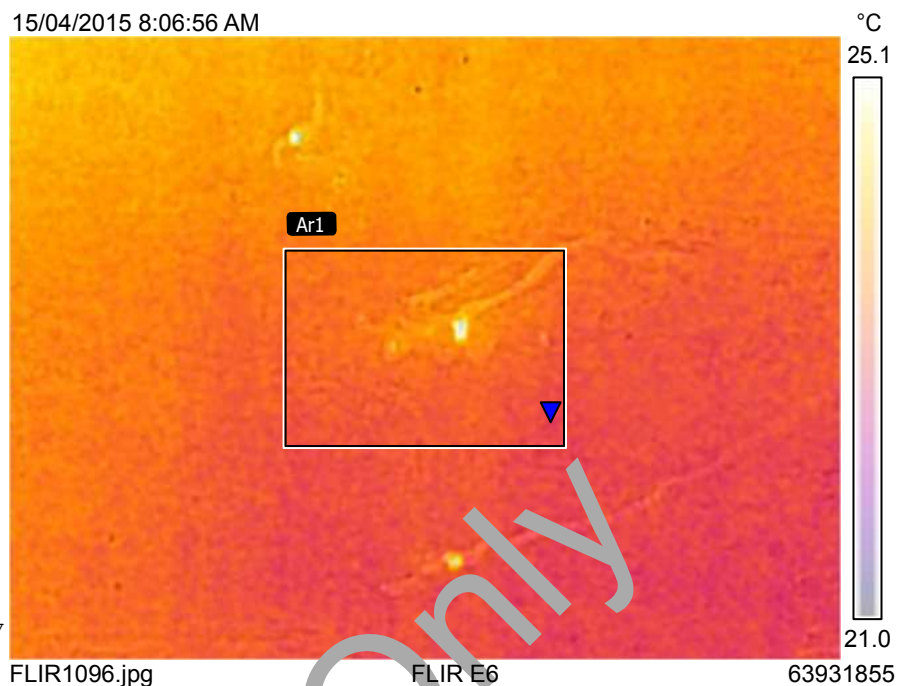
Findings:

Stalactites can be seen forming on the soffit of the concrete slab. This is the result of a continuous water leak coming from the apartment above.

Investigative works are to be carried out by a licensed plumber to determine the origin of the water leak and to rectify it to ensure no further water penetrates the slab.

Prolonged exposure to water can result in the slab losing its structural integrity over a long period of time.

This is evident in photos: 1096, 1097 & 1098



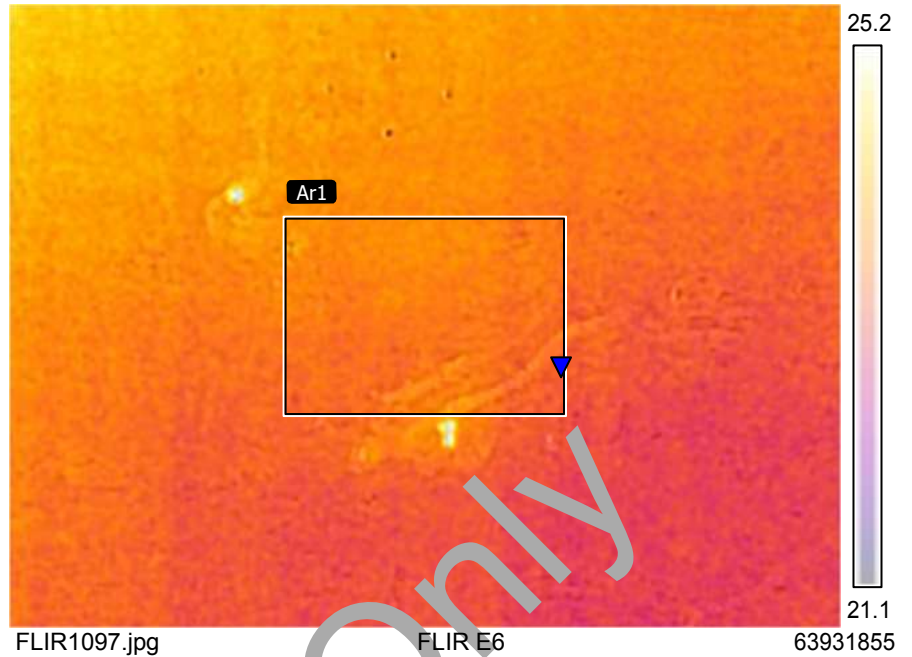
Measurements °C

Ar1	Min	23.2
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Parameters

Emissivity	0.8
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15/04/2015 8:07:03 AM



15/04/2015 8:07:03 AM



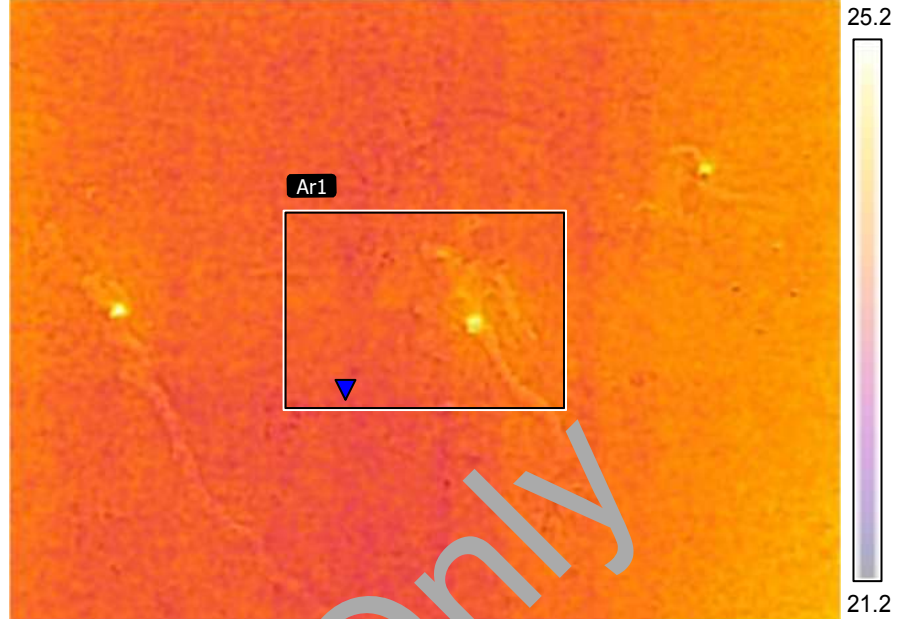
Measurements °C

Ar1	Min	23.1
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Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:07:34 AM



FLIR1098.jpg

FLIR E6

63931855

15/04/2015 8:07:34 AM



FLIR1098.jpg

FLIR E6

63931855

Measurements °C

Ar1	Min	15.2
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Parameters

Emissivity	0.8
Refl. temp.	20 °C

Carpark - Stage 1

Findings -

Moisture in the garden bed, in particular up against the blockwork wall is contributing to the efflorescence which is visible on the surface of the blockwork wall inside the carpark. To ensure this does not keep happening, the garden bed must be dug up, an aggie drain and crushed rock be installed along the blockwork wall at 600mm deep, and then be correctly waterproofed to ensure no further water ingress takes place.

This is evident in photos: 1099 & 1100

15/04/2015 8:12:51 AM



15/04/2015 8:12:51 AM



Measurements °C

Ar1	Min	14.7
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Parameters

Emissivity	0.8
Refl. temp.	20 °C

15/04/2015 8:12:57 AM



15/04/2015 8:12:57 AM



Measurements °C

Ar1	Min	23.4
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Parameters

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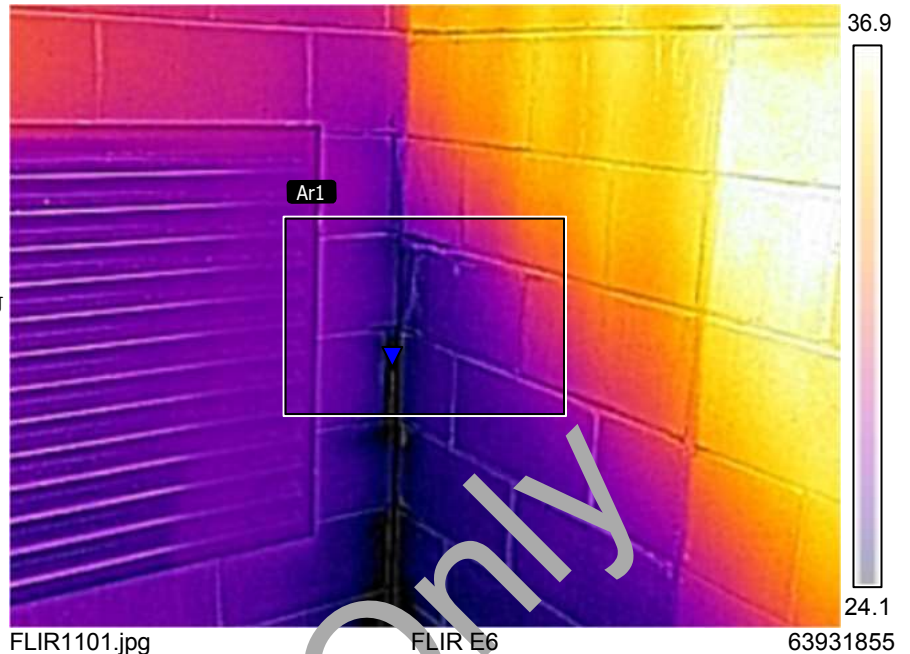
Carpark - Stage 1

Findings:

Water can be seen penetrating through the blockwork wall and running down the entire corner. On the other side of this wall there is a garden bed which is the main contributor to the water ingress. Efflorescence should be pressure washed off the wall, and rectification works include the digging up of the garden, installation of an aggie drain and crushed rock along the wall at 600mm deep, and the application of a waterproof membrane to prevent further water damage to the blockwork wall.

This is evident in photos: 1101, 1102 & 1103.

15/04/2015 8:23:00 AM



15/04/2015 8:23:00 AM



Part 6: Terms and Conditions

The following information is very important and forms an integral part of this report.

Before you decide to purchase this property you should read and understand the following important information. It will help explain what is involved in a Standard Property Inspection, the difficulties faced by an inspector and why it is not possible to guarantee that a property is free of defects, latent or otherwise. This information forms an integral part of the report. The general adequacy of site drainage is not included in the Standard Property Inspection Report. Comments on surface water drainage are limited as where there has been either little or no rainfall for a period of time, surface water drainage may appear to be adequate but then during periods of heavy rain, may be found to be inadequate. Any comments made in this section are relevant only in light of the conditions present at the time of inspection. It is recommended that a Smoke Test be obtained to determine any illegal connections, blocked or broken drains.

1. This is a Visual Inspection only and in Accordance with AS4349.

This visual inspection is limited to those areas and sections of the property fully accessible and visible to the Inspector at the time and on the date of Inspection. The inspection DID NOT include breaking apart, dismantling, removing or moving objects including, but not limited to, foliage, mouldings, roof insulation/sarking membrane, floor or wall coverings, sidings, ceilings, floors, furnishings, appliances or personal possessions. The Inspector CANNOT see inside walls, between floors, inside skillion roofing, inside the eaves, behind stored goods in cupboards, or other areas that are concealed or obstructed. The inspector DID NOT dig, gouge, force or perform any invasive procedures. In an occupied property it must be understood that furnishings or household items may conceal defects which may only be revealed when the items are removed. No detailed inspection is inferred to external areas over 3.6 metres above the natural ground level.

2. Scope of Report

The Standard Property Report is not intended as a certificate of compliance of the property within the requirements of any Act, regulation, ordinance or by-law, or, as a warranty or an insurance policy against problems developing with the building in the future.

3. Limitations

Nothing contained in the Report implies that any inaccessible or partly inaccessible area(s) or section(s) of the property being inspected by the Inspector on the date of the inspection were free from defects latent or otherwise.

No responsibility can be accepted for defects which are latent or otherwise not reasonably detected on a visual inspection without interference with or removal of any of the structure including fixtures or fittings within the building.

This Standard Property Report does not contain any assessment or opinion in relation to any item, which is the subject of a Special Purpose Property Report (as defined in AS4349.1), or any matter where the inspection or assessment of which is solely regulated by Statute. Special Purpose Property Reports include comment on the following: Common property areas, environmental concerns such as sunlight, privacy, streetscape and views. Proximity of property to flight paths, railways and busy traffic or other neighbourhood issues. Noise levels, health and safety issues including the presence of asbestos or lead. Heritage concerns. Security or fire protection. Analysis of site drainage apart from surface water drainage. Swimming pools and spas. Detection and identification of illegal and unauthorised building and plumbing work. Durability of exposed finishes.

4. Important Information

Any person who relies upon the contents of this Report does so acknowledging that the above clauses, definitions and disclaimers that

follow define the Scope and Limitations of the inspection and form an integral part of the report.

5. Disclaimer of Liability

No liability shall be accepted on account of failure of the Report to notify any problems in any area(s) or section(s) of the subject property physically inaccessible for inspection, or to which access for Inspection is denied by or to the Inspector (including but not limited to any area(s) or section(s) so specified by the Report.

6. Disclaimer of Liability to Third Parties

This report is made solely for the use and benefit of the Client named on the front of this report. No liability or responsibility whatsoever, in contract or tort, is accepted to any third party who may rely on the Report wholly or in part. Any third party acting or relying on this Report, in whole or in part does so at their own risk.

7. Report Definition

This report is limited to a visual inspection of areas where reasonable access is available at the time of inspection. It does not purport to be geological as to foundation integrity or soil conditions, engineering as to structural, nor does it cover the condition of electrical, plumbing, gas or motorised appliances. It is strongly recommended that an appropriately qualified contractor check these services prior to purchase.

As the date of this report we have identified the items as listed herein, we do not accept any responsibility for items which may be damaged after the inspection has been completed.

As a matter of course, and in the interests of safety, all prospective purchasers should have an electrical report carried out by a suitably qualified contractor. This report is limited to (unless otherwise noted) the main structure on the site and any other building, structure or outbuilding specifically named within the report.

This Report attempts to assist in judging a building according to its age and level of maintenance and in providing relative comparisons. This inspection and report is not to be considered all-encompassing dealing with a building from every aspect. Rather it should be seen as a reasonable attempt to identify any significant defects visible at the time of the inspection. It is unrealistic to expect comment on minor defects or imperfections in the Standard Property Report. If this is required, a Special Purpose Property Report is recommended.

Whilst buildings may have many pleasing features there are few without defects and many are due naturally to age deterioration. Subject to the level of maintenance on the building it is common for the number of faults to have increased with age.

All items that are considered to be concealed or latent defects are excluded.

Shower Recesses: Tests may be made on shower recesses to detect leaks (if water is connected). The tests may not reveal leaks or show incorrect waterproofing if silicone liquid or masonry sealant has been applied prior to the inspection. Such application is a temporary waterproofing measure and may last for some months before breaking down. The tests on shower recesses are limited to running water within the recesses and visually checking for leaks. As showers are only checked for a short period of time, prolonged use may reveal leaks that were not detected at the time of inspection. If there is no evidence of a current leak during inspection that does not necessarily mean that the shower does not leak.

Glass Caution: Glazing in older houses (built before 1978) may not necessarily comply with current glass safety standards AS1288. In the interests of safety, glass panes in doors and windows especially in trafficable areas should be replaced with safety glass or have shatterproof film installed unless they already comply with the current standard.

Stairs & Balustrades: Specifications have been laid down by the Australian Building Code - Section 3.9 covering stairs, landings and balustrades to ensure the safety of all occupants and visitors in a building. Many balustrades and stairs built before 1996 may not

comply with the current standard. You must upgrade all such items to the current standard to improve safety.

Swimming Pools: If a swimming pool is present it should be the subject of a Special Purpose Property Report. A detailed inspection on the status or serviceability of any swimming pool or associated pool equipment has not been carried out and is not within the scope of this report. Additionally, to adequately inspect a swimming pool, the water must be completely drained and all internal surfaces must be fully accessible.

This report may contain notable observations, together with what is considered to be helpful information and advice.

This report does not identify timber-destroying pests. A timber pest inspection report should be obtained from a qualified timber pest inspector.

If any cost of work estimates is given, these are merely opinions and should be taken as a general guide only. In the building industry, experience has shown that prices vary considerably and you must obtain independent quotations on any significant notable item from several contractors prior to purchase.

The operation of fireplaces, chimneys, alarm systems, intercom systems, electrical and mechanical appliances, air conditioning systems, smoke detectors and residual current devices have not been tested and are the subject of a Special Purpose Property Report. Should you require an inspection to be carried out on any item not specifically covered by this report, please request a Special Purpose Property Report on the specific item required.

No report is made on the presence, operation, installation or cabling of any free to air or pay television system.

8. Lighting Installations

It should be noted that this inspection was done during daylight hours and therefore the adequacy of lighting in darkness could not be directly assessed.

9. Electrical Installations

We have carried out a thorough visual inspection of the common property and assets visible from the common property areas. If there were any visible electrical installation issues they have been included in this section of the report. We have not carried out a thorough inspection of electrical installation and the main switchboard, as we are not qualified to do so, please ensure that a suitably qualified electrical contractor carries out a thorough visual inspection at least every 2 years, this inspection can be incorporated with the testing of the Residual Current Device if Community Circuits are present.

10. Plumbing, Gutters & Downpipes and Roofs

We have carried out a thorough visual inspection of the common property and assets visible from the common property areas. If there were any visible plumbing, gutters and downpipes or roof issues they have been included in this section of the report. We have not carried out a thorough inspection of the plumbing, gutters and downpipes and roof, as we are not qualified to do so, please ensure that a suitably qualified plumbing contractor (who is qualified to undertake roof inspections) carries out a thorough regular inspection. We will recommend a qualified plumber to inspect if an issue is found.

11. Lifts

Please ensure that if lifts are in the building(s) that regular maintenance programs are in place. This report does not cover lifts.

12. Painting

Painting surfaces not exposed to the elements/corrosion should be included in the next painting cycle. Painting for aesthetic purposes is not included in this report.

13. Air Conditioning

Only a general external inspection of air conditioning units is carried out where installed, therefore please ensure that if the Owners Corporation has air conditioner(s) in the building(s) they have regular maintenance programs in place. This report does not cover air conditioning units and air condition cooling towers.

14. Glass

This report only addresses glass requiring obvious replacement. It does not cover the Building Code, Australian Standard and safety requirements of glass installed in the common property.

15. Plant and Equipment

Please ensure that if the Owners Corporation has plant and equipment in the building(s) that regular maintenance programs are in place for each piece of plant and equipment. This report does not cover plant and equipment.

16. Balcony Balustrades

Wherever balcony balustrades are installed, please be advised that a comprehensive inspection of balcony railings was not carried out as part of this report. Also this report is only a visual inspection of areas accessible from the common property; therefore all balcony balustrades are not viewed. If there are any visible signs of corrosion on the balustrade including fixings and/or if the balustrades are over 10 years old a detailed inspection and testing of balustrades should be undertaken.

17. Pest Reports

If there are any visible signs of termite damage it is included in this report. We have not carried out a pest inspection of the site; as we are not qualified to do so, please ensure that a suitably qualified pest inspection contractor carries out thorough regular inspections.

18. Fire Fighting Equipment and Statutory Requirements

It has been assumed that any building needing fire fighting equipment to meet legislative requirements such as the Building Code of Australia 1996 did meet those requirements at the time of construction. We have not examined the fire safety requirements for the building and make no comment as to the adequacy of the measures found in the complex. We have not and do not assess the condition of any fire fighting equipment within the complex. If the Bodies Corporate wishes to ascertain its position with respect to fire safety compliance it may carry out its own assessment. These guidelines should be placed on the Owners Corporation notice board. We have visually inspected the fire fighting equipment but have not carried out any testing and therefore cannot determine if the equipment has been tampered with or will be effective in case of fire.

Rooms below ground level: If there are any rooms under the house or below ground level (whether they be habitable or non-habitable rooms), these may be subject to dampness and water penetration. Drains are not always installed correctly or could be blocked. It is common to have damp problems and water entry into these types of rooms, especially during periods of heavy rainfall and this may not be evident upon initial inspection. These rooms may not have council approval. The purchaser should make their own

enquiries with the Council to ascertain if approval was given. Where the property is covered by an Owners Corporation (Strata Title), we strongly recommend that an Owners Corporation search be conducted to ascertain the financial position, the level of maintenance and any other relevant information available through the conduct of such an inspection.

19. Services

Important Notes: In regard to plumbing or electrical, it should be noted that we are not plumbers or electricians and any comment made is not that of a qualified plumber or electrician. We recommend that a qualified contractor be engaged to make comment.

20. Copyright

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