

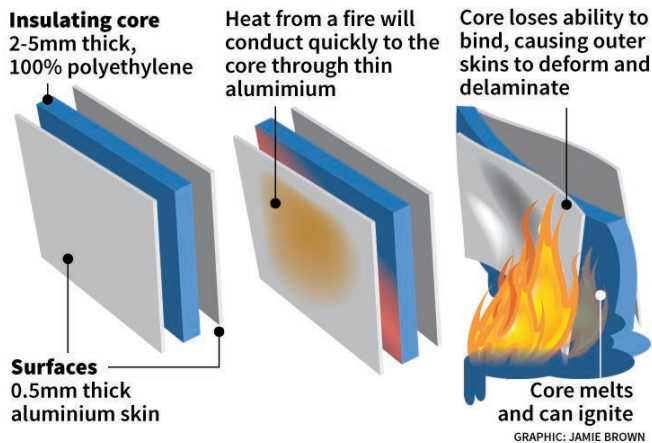
Cladding & Facade Audits

Building Owners and Owners Corporations are obligated to provide a safe environment to all occupants. Did you know a 1m² section of polyethylene cladding is equivalent to 5L of petrol or that 1kg of polyethylene cladding has the same burning capacity as 1.5L of petrol? Depending on implementation, a single building may have the burning capacity of 1000L of petrol or more.

If you have concerns regarding the cladding utilised throughout your building contact Roscon to conduct a review and provide you peace of mind.

As expert consultants Roscon can devise a solution to address any non-compliant claddings. These solutions may be far more cost effective than replacing the entire building facade.

Aluminium composite panel Flammable core



Stage 1 – Desktop Audit

Roscon will review all the design, construction and approval documents available, including original architectural plans, to determine whether Aluminium Composite Panelling (ACP) has been specified on the building.

If ACP is installed on the building Roscon will investigate which type of ACP was specified. ACP can be acquired in 3 forms:

- Combustible Core (Polyethylene)
- Fire Retardant Core
- Non-Combustible Core

From the naked eye, all three types of ACP look the same.

Subsequently, Roscon will carry out a determination of building design, classification and similar details in accordance with National Construction Code (NCC).

This will be presented to the committee in an easy-to-read report with our findings and may recommend proceeding to stage 2 and 3, testing as per AS1530.1-1994.





Stage 2 - Site Assessment

Roscon will carry out a site investigation to assess details of the façade panel physically present on site, including how it has been integrated, as well as whether it would be classed as forming part of the structure of the external wall or would be considered an attachment for aesthetic purposes, as different material requirements exist for different scenarios in the NCC. We also document facade details including the type, material, and extent of the cladding.

As part of the audit and report we consider the requirements in the NCC as well as deemed to satisfy provisions. Composite Panel and façade details, the product, manufacturer, and code mark and the building's fire and ESM systems as well as fire performance solutions. At the conclusion of the report Roscon provides recommendations as to whether the implementation is acceptable, or whether it should be repaired, or replaced.



Buildings in the outer suburbs are generally under 25m or 7 levels and do not have sprinklers installed, noncompliant ACP in these building are a ticking time bomb. The outer suburbs are where we are more likely to witness a disaster, as fire sprinklers are not installed in most buildings and not required by the NCC. There are amendments currently being drafted to the NCC which will take effect in 2018 requiring sprinklers on all buildings with external aluminium cladding more than two storeys.



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Stage 3 - Testing as per AS1530.1-1994

As highlighted at La Crosse Apartments (Docklands) fire, our data suggests that the failure in the system is occurring in the procurement of the product specified. Architects may stipulate a Non-Combustible Core in size '6 font' on the architectural drawings, however builders in trying to reduce costs and increase profits are electing to order the cheaper Combustible Core, as consumer can't notice the difference until it's too late.

The imported Combustible cladding installed on the Lacrosse building was tested by the CSIRO and found to be so combustible that the test was abandoned after 93 seconds due to fear that excessive flaming and smoking would damage their testing equipment.

Roscon performs materials testing to AS1530.1 in conjunction with the CSIRO. AS5113-2016 (Fire propagation testing and classification of external walls of buildings) has been introduced by Australian Standards. It is anticipated that this will be incorporated into the NCC and Certification in the next round of changes in May 2018. When incorporated in the NCC, the cladding for new buildings will need to undergo a full-scale facade test to assess the fire safety as applied to a building's external cladding. The current fire testing standard in Australia AS1530 is 23 years old and the prescribed tests do not adequately prescribe a testing regime for modern materials.

The sample size required for the AS 1530.1 test is a cylinder 45mm dia. x 50mm and having a 2mm dia x 25mm deep hole drilled axially from the top of the sample, 6 samples are required per test. The cost of each test from the CSIRO will be passed on as a disbursement. The testing process usually takes between 5-8 weeks.

Roscon's fees for obtaining the samples from site and providing our expert option based on the sample results are not included in the CSIRO fee. Additionally, any 'make good' requirements of ACP where Roscon obtained the samples onsite is not included within our quotation.



Stage 4 – Methodology to remove and rectify non-conforming ACP

Roscon can formulate a plan to remove and rectify any non-conforming ACP immediately by preparing a detailed scope of works and costings for the removal and replacement of the defective external cladding at the property, including a detailed costings report in compliance with VCAT Practice Note No 2.

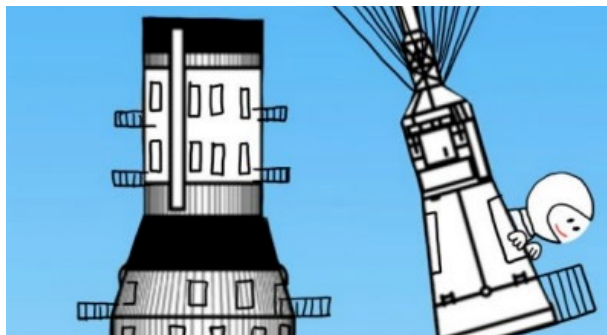
Roscon has provided expert advice and recommendations to the Senate Committee for Aluminium Composite Panelling. Recently Roscon was invited by the CEO of the Victorian Cladding Taskforce to also provide expert advice and recommendations, making Roscon the industry leading expert in assisting Owners Corporations with Aluminum Composite Paneling.



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Media Coverage

FINANCIAL REVIEW



Strategies for after the property boom

SEPTEMBER 30, 2017



High rise owners face bill for replacing dangerous cladding

SEPTEMBER 15, 2017



Inflammable cladding crisis creates 'legal minefield' for building industry

SEPTEMBER 12, 2017

THE AGE

Victoria won't follow NSW on building defects reform

JANUARY 22, 2018

Apartment owners face \$60,000 cladding blow after court ruling protects builders

JANUARY 20, 2018

Council orders Brunswick block owners to get a \$2m flammable cladding fix

DECEMBER 8, 2017

Footscray townhouses to be demolished despite approval sign of industry malaise

NOVEMBER 18, 2017

Herald Sun

Danger of foam homes

JULY 28, 2017

The Daily Telegraph

Shoddy builders using foam bricks in cheap homes

JULY 28, 2017

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ABC News



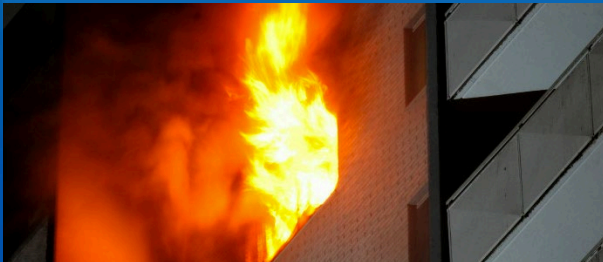
Resident's insurance costs quadruple

DECEMBER 10, 2017



ABC News Broadcast

DECEMBER 9, 2017



Australia must stop cladding apartments with flammable material

DECEMBER 5, 2017



Could this be a solution to the cladding fiasco?

NOVEMBER 21, 2017

Faulty Glass a Major Danger to the Australian Public

JULY 27, 2017

We Are Wrapping Buildings in Tens of Thousands of Litres of Petrol

SEPTEMBER 12, 2017

Homeowners horrified to discover dodgy builders are using foam to build houses rather than bricks

JULY 28, 2017

Senate Moves to Ban Polyethylene Cladding in Australia

SEPTEMBER 9, 2017

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ABC Radio



Have you been the victim of dodgy construction?

APRIL 19, 2017

The 7.30 Report



Authorities dragging their feet on building cladding audit, experts say

JUNE 29, 2017

Australian Senate



The use of non-compliant external cladding materials in Australia

JULY 19, 2017

FIVEaa Adelaide



Unsafe cladding on multi-story buildings

4:40 - 9:15

Today Tonight



Esky Houses

SEPTEMBER 5, 2017

ABC Radio



Yes, but does it have a basement?

SEPTEMBER 16, 2017

Service
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Value



THE AGE

Collapsed ceilings and stalactites the pointy end of Victoria's faulty building crisis

JANUARY 21, 2017

Exploding glass balconies in melbourne apartments expose faulty building products

JULY 2, 2017



The Sydney Morning Herald

Experts criticise law to protect home buyers from dodgy developers

JULY 28, 2017



3AW Radio



3AW Radio Interview

FEBRUARY 1, 2018

ABC Radio



ABC Radio Interview

JANUARY 23, 2018

ABC News



Balcony Safety

DECEMBER 18, 2017

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